

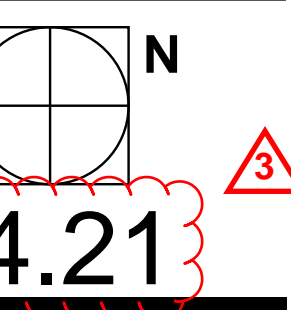
COLOR SCHEME-2  
SECOND LEVEL ENTRY

PENINSULA HEIGHTS - SAN MATEO, CA  
CAMPUS POP INVESTOR, LLC

12 UNIT TH OVER FLATS PERSPECTIVES



JOB NO. 1483.001  
DATE 07-10-20  
5865 Owens Drive  
Pleasanton, CA 94588  
925-251-7200



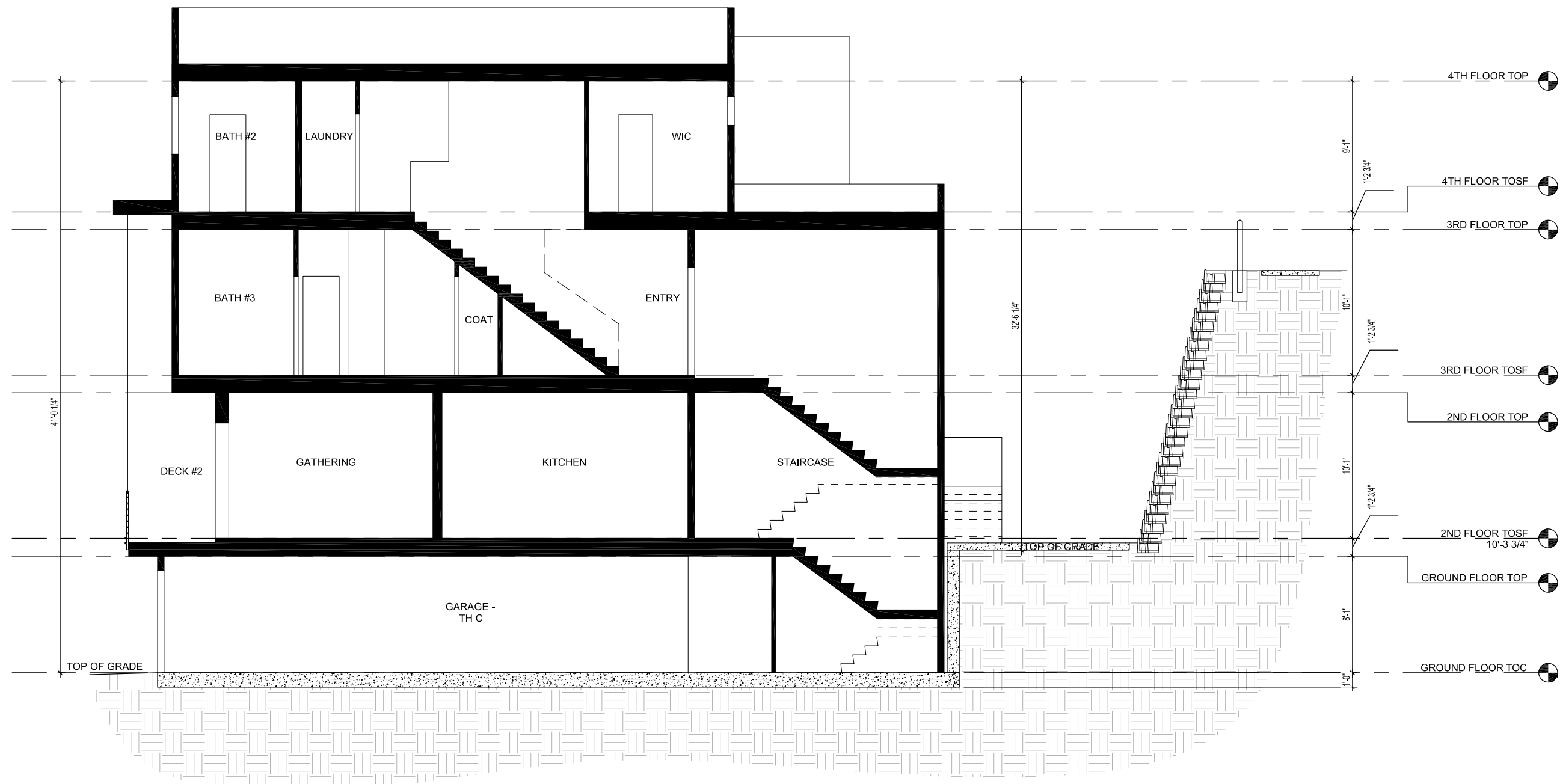




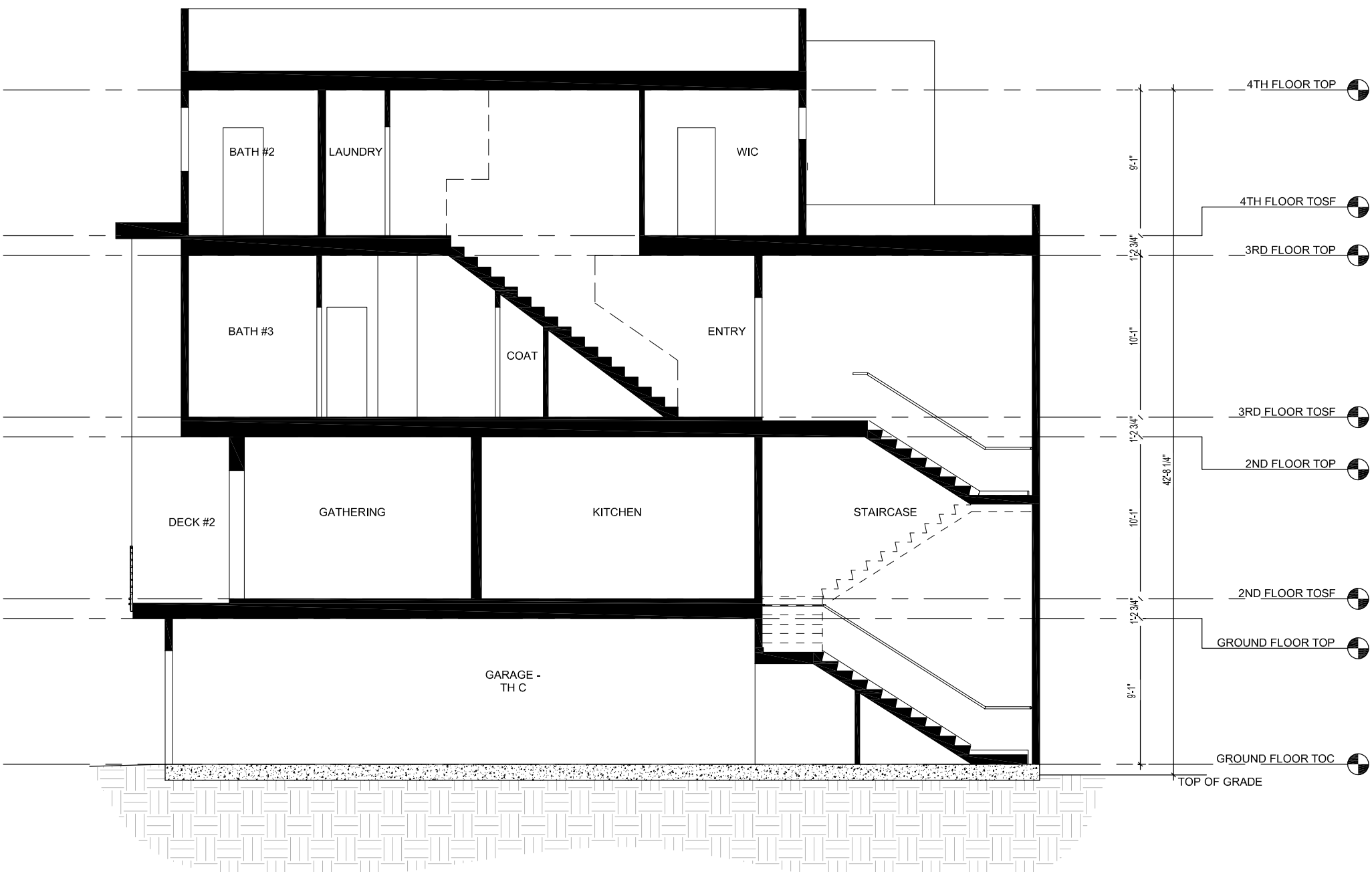
SECOND LEVEL ENTRY (PASEO VIEW)



SECOND LEVEL ENTRY (ELEVATION)

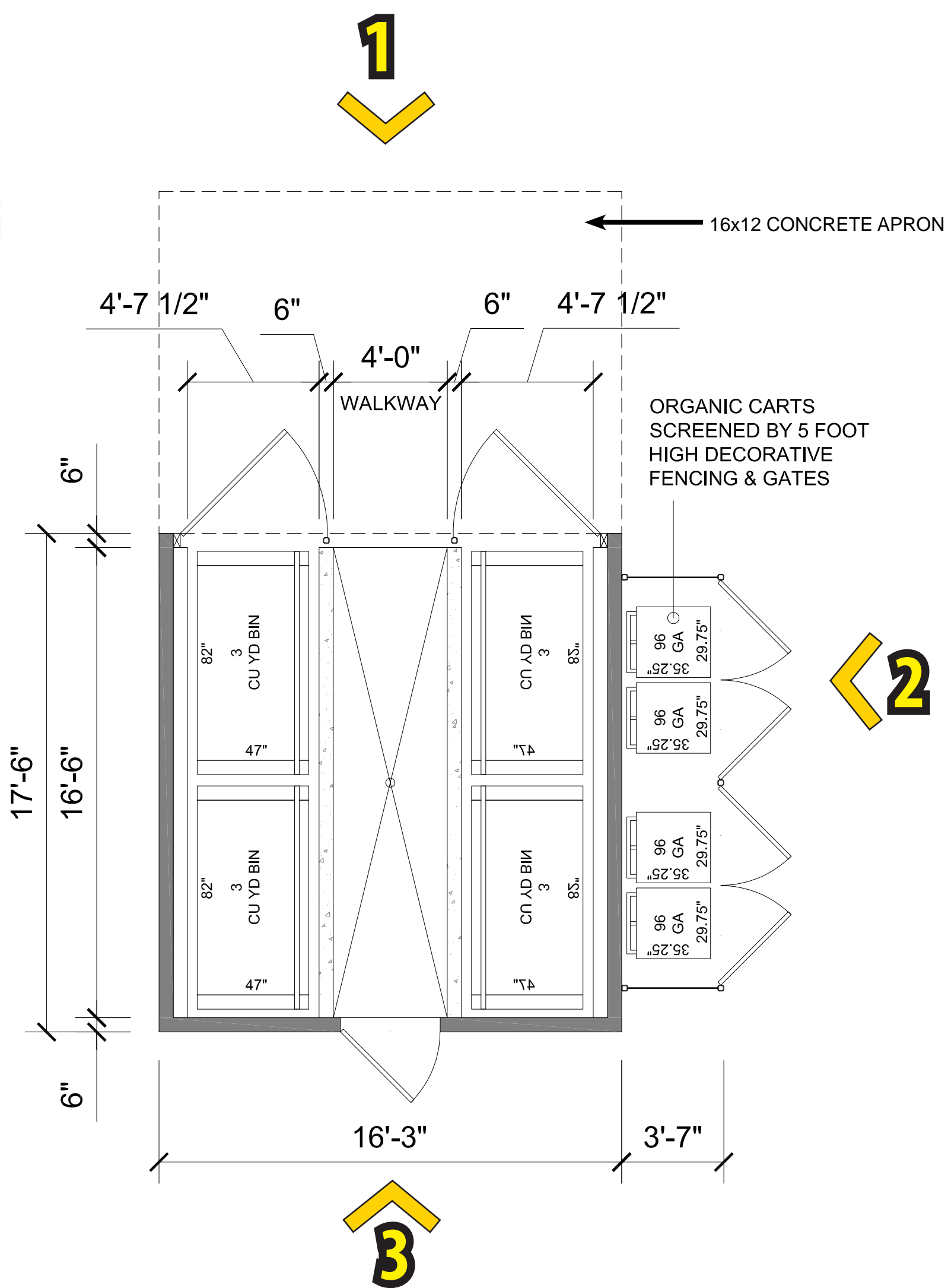
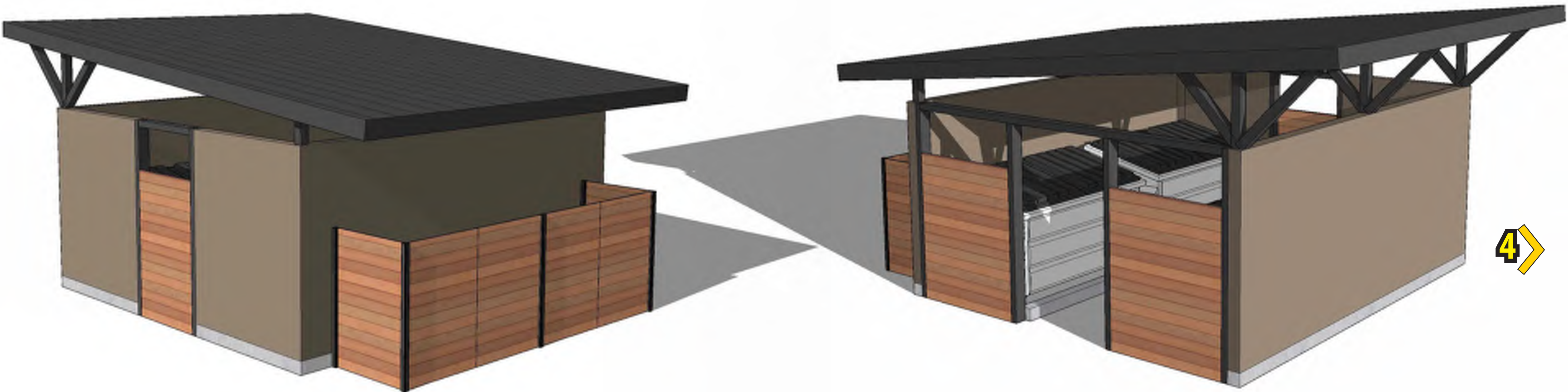


SECOND LEVEL ENTRY



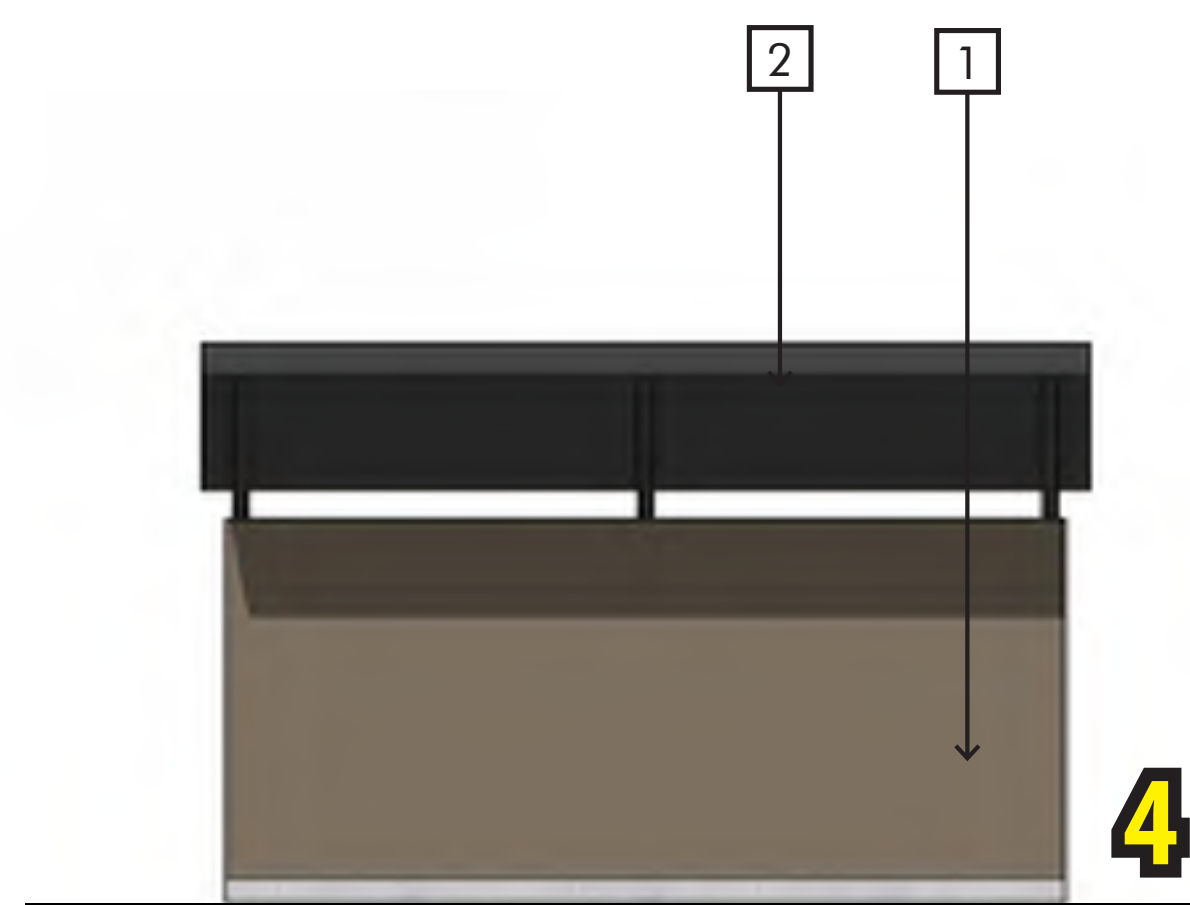
GROUND LEVEL ENTRY



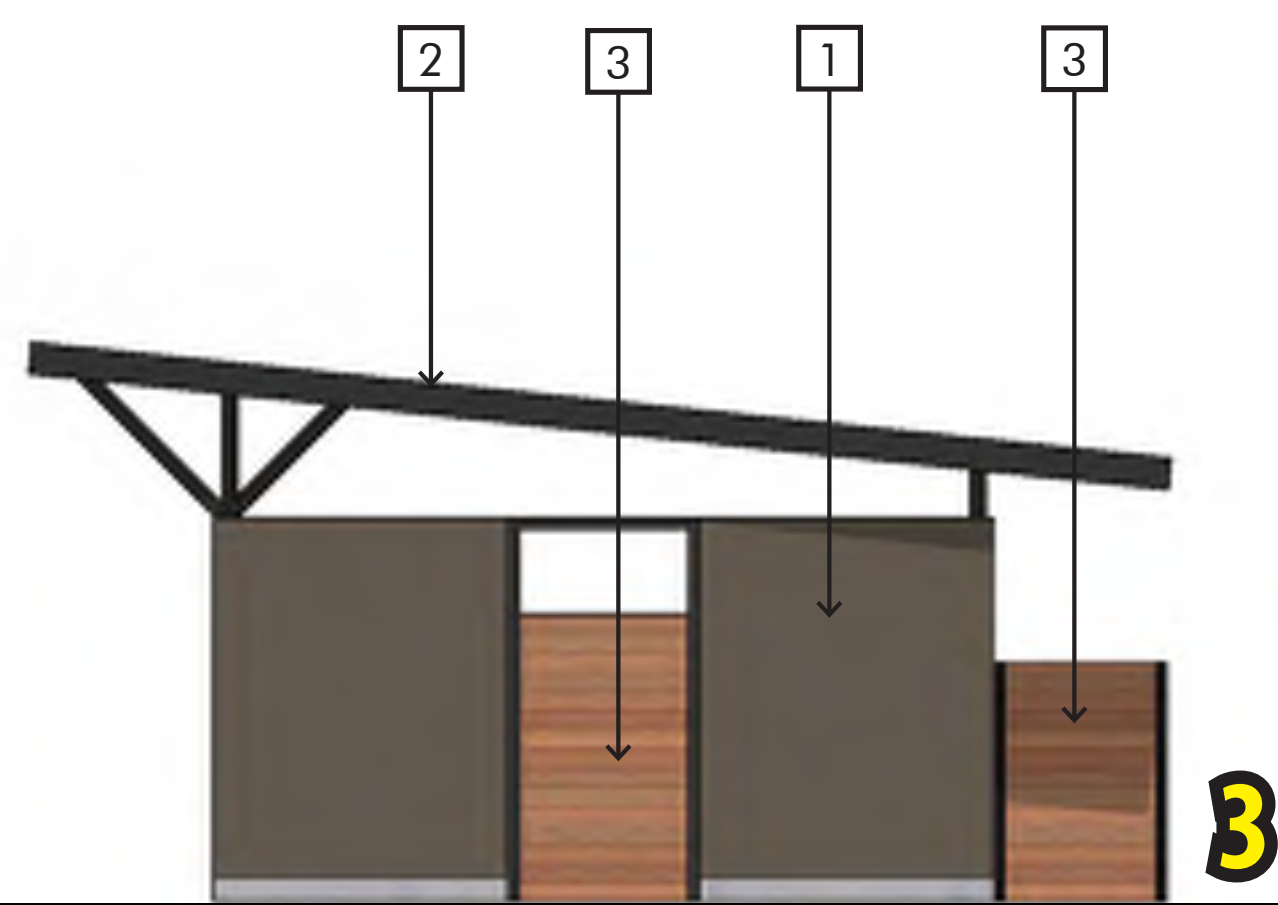


**MATERIAL LIST**

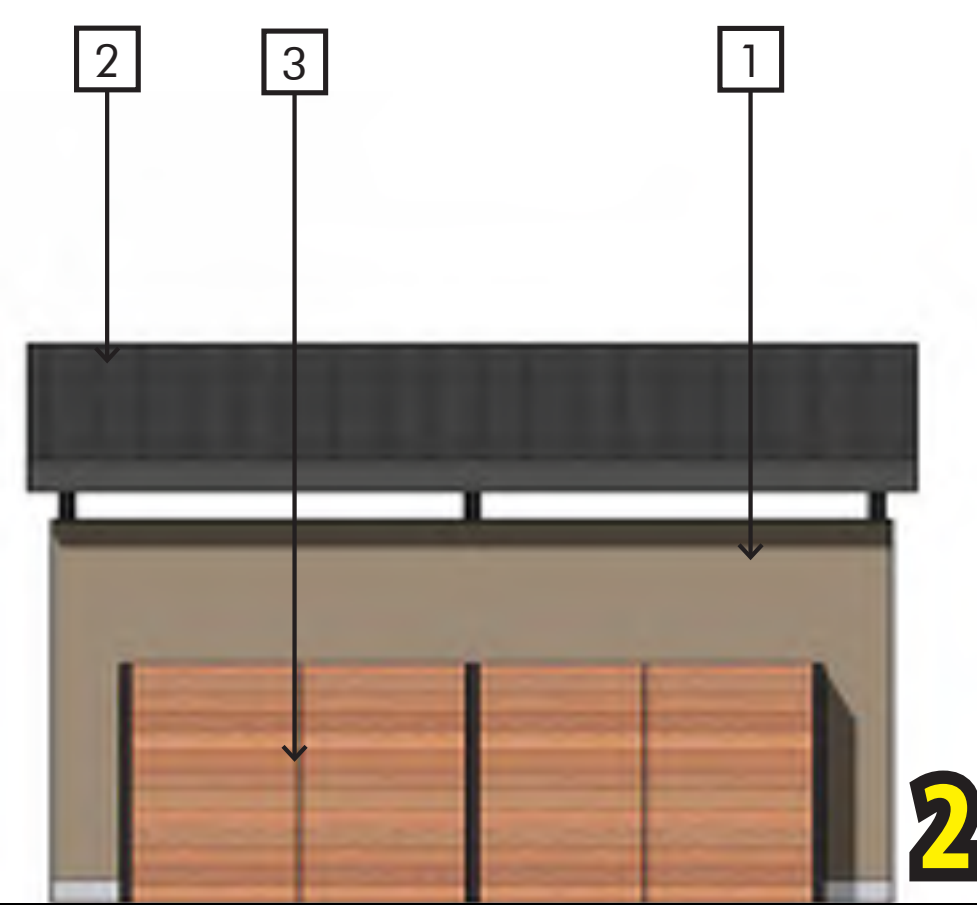
- 1 STUCCO
- 2 STANDING METAL SEAM ROOF
- 3 LAP SIDING



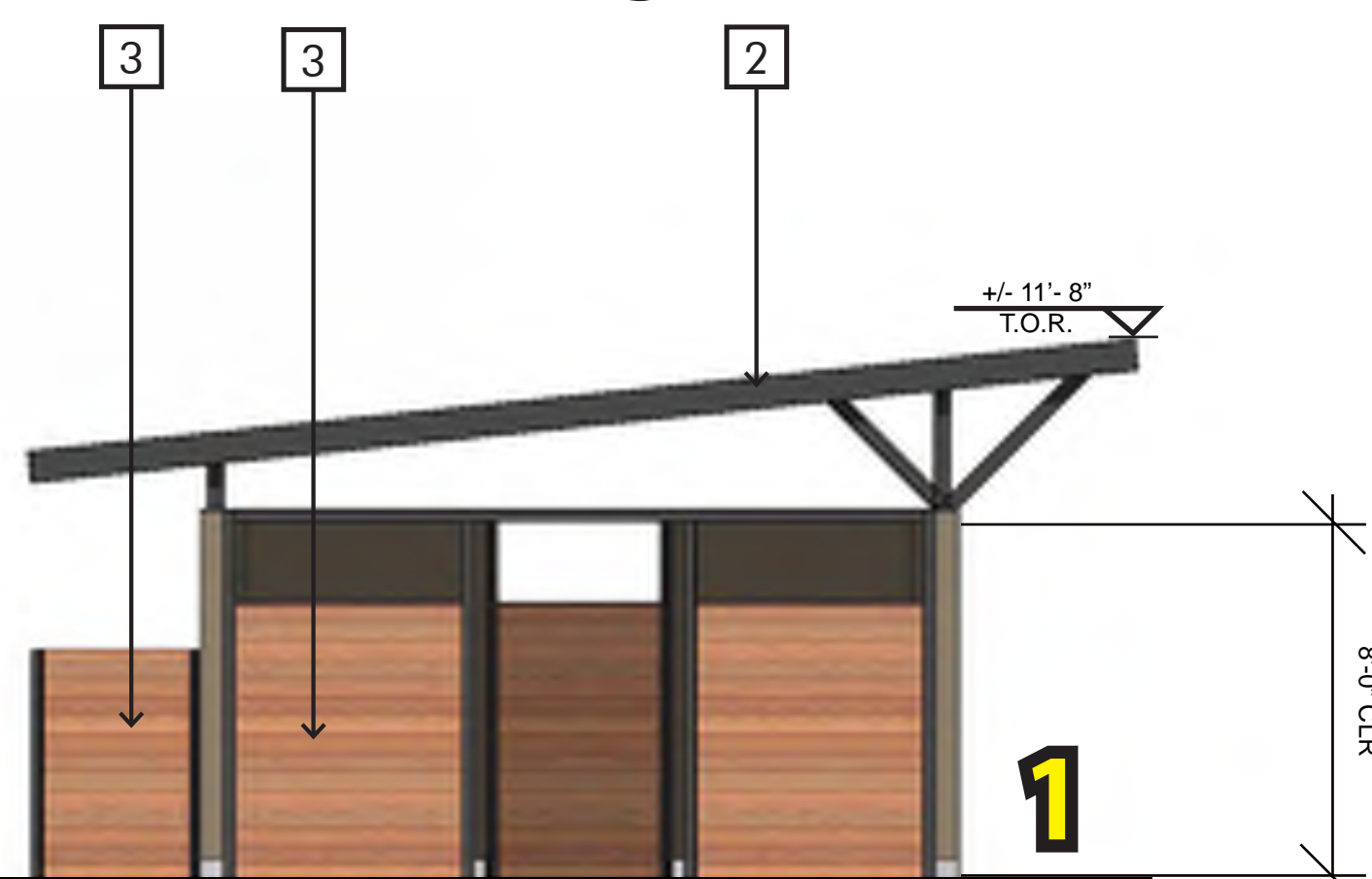
**RIGHT ELEVATION**



**REAR ELEVATION**



**LEFT ELEVATION**



**FRONT ELEVATION**

TRASH ENCLOSURE

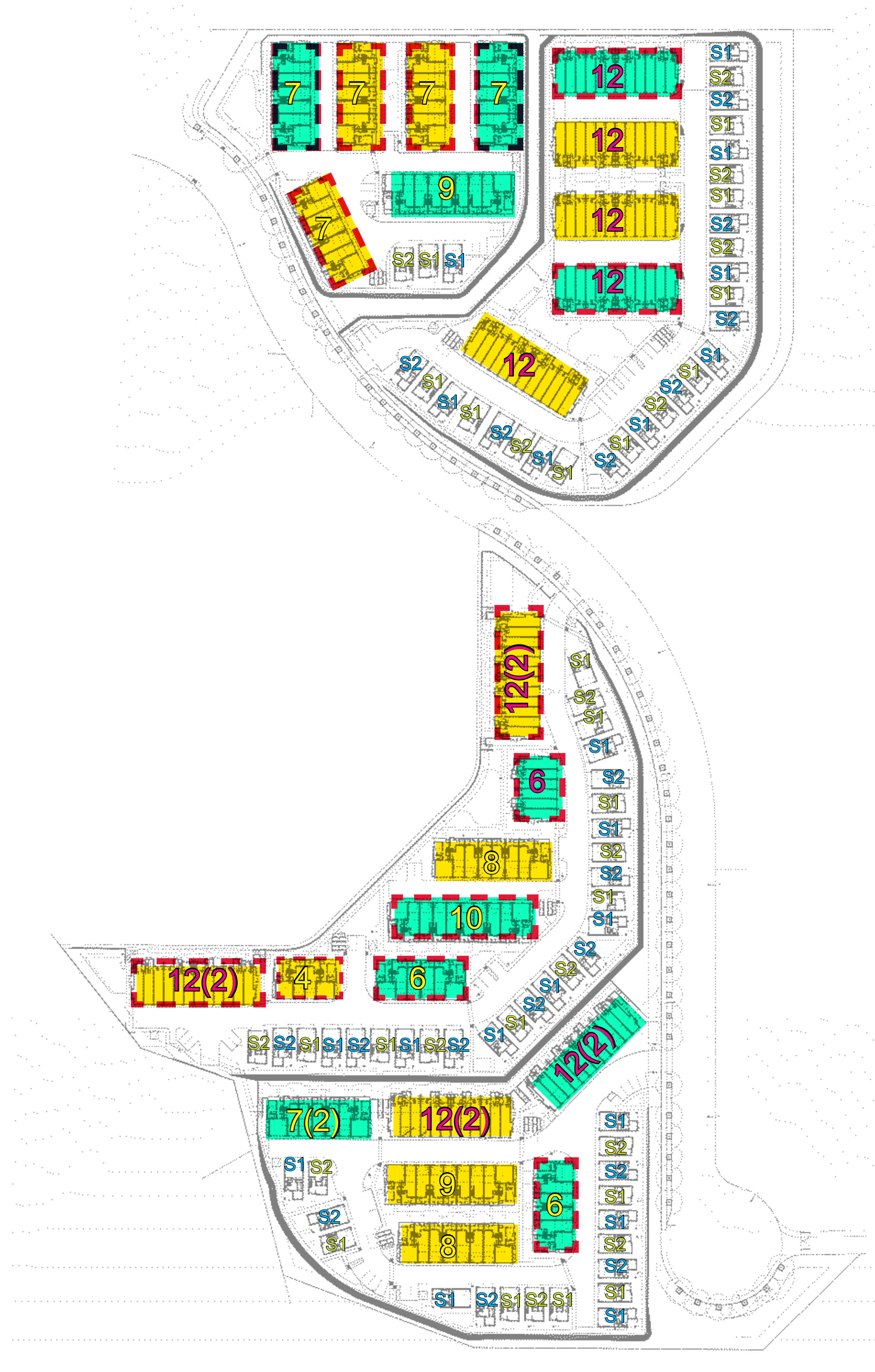
PENINSULA HEIGHTS - SAN MATEO, CA  
CAMPUS POP INVESTOR, LLC

ELEVATIONS AND PLANS

JOB NO. 1483.001  
DATE 03-17-20  
5865 Owens Drive  
Pleasanton, CA 94588  
925-251-7200

5.0








SFD UNITS	
<b>S1</b>	SFD 1-COLOR SCHEME 1
<b>S2</b>	SFD 1-COLOR SCHEME 2
<b>S1</b>	SFD 2-COLOR SCHEME 1
<b>S2</b>	SFD 2-COLOR SCHEME 2

TOWNHOME BUILDINGS - UNIT COUNT	
<b>7</b>	TOWNHOME (1st Level Entry)
<b>7(2)</b>	TOWNHOME (2nd Level Entry)

TH OVER FLATS BUILDINGS - UNIT COUNT	
<b>12</b>	TH OVER FLATS (1st Level Entry)
<b>12(2)</b>	TH OVER FLATS (2nd Level Entry)

TOWNHOME & TH OVER FLAT BLDGS - STYLES	
	COLOR SCHEME-1
	COLOR SCHEME-2
	PITCHED ROOF





# PENINSULA HEIGHTS

## COLOR AND MATERIAL BOARD



### CS-1:

A: AGREEABLE GRAY- SW 7029

B: VERMILION - SW 2914

C: GRIFFIN - SW 7026

D: SPECIAL GRAY - SW 6277

### MATERIALS

1. STUCCO  
SAND FINISH

2. CEMENT.  
PANEL & TRIM

3. VINYL WINDOW

4. METAL HORIZONTAL  
RAILING

5. BOARD AND BATTEN

6. STONE VENEER

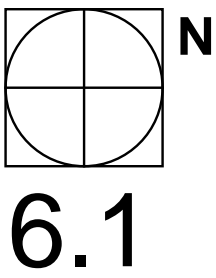
### COLOR SCHEME-1

PENINSULA HEIGHTS - SAN MATEO, CA  
CAMPUS POP INVESTOR, LLC

SFD 1 MATERIAL BOARD



JOB NO. 1483.001  
DATE 07-10-20  
5865 Owens Drive  
Pleasanton, CA 94588  
925-251-7200





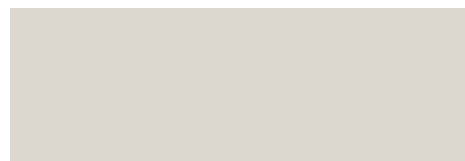
# PENINSULA HEIGHTS

## COLOR AND MATERIAL BOARD



### CS-2:

A: DRIFT OF MIST- SW 9166



D: SOLITUDE- SW 6535



B: SUNRISE - SW 6668

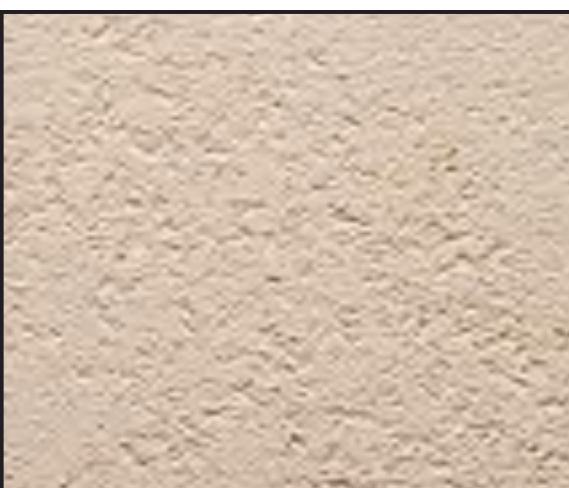


C: GRIFFIN - SW 7026



### MATERIALS

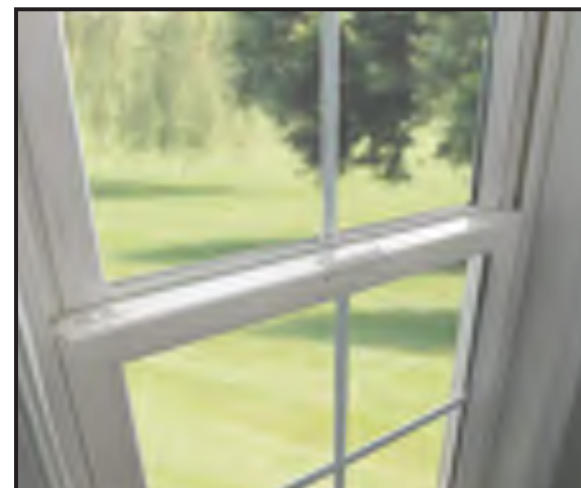
1. STUCCO  
SAND FINISH



2. CEMENT.  
PANEL & TRIM



3. VINYL WINDOW



4. METAL HORIZONTAL  
RAILING



5. BOARD AND BATTEN



6. STONE VENEER



### COLOR SCHEME-2

PENINSULA HEIGHTS - SAN MATEO, CA  
CAMPUS POP INVESTOR, LLC

SFD 1 MATERIAL BOARD



# PENINSULA HEIGHTS

## COLOR AND MATERIAL BOARD



**CS-1:**

A: GOSSAMER VEIL- SW 9165

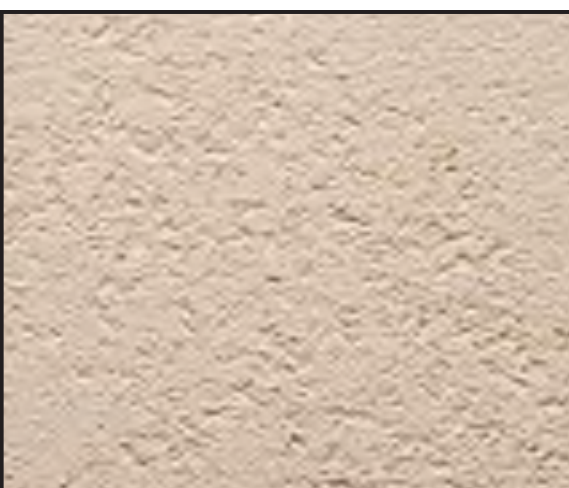
B: SPECIAL GRAY - SW 6277

C: ORGANIC GREEN - SW 6732

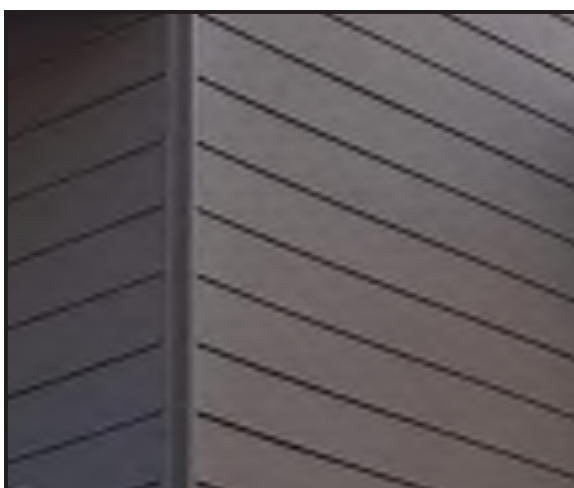
D: IRON ORE - SW 7069

### MATERIALS

1. STUCCO  
SAND FINISH



2. LAP SIDING



3. CEMENTITIOUS.  
PANEL & TRIM



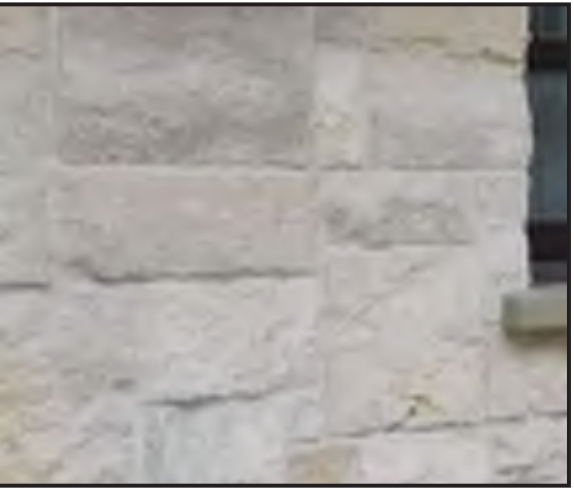
4. VINYL WINDOW



5. METAL HORIZONTAL  
RAILING



6. STONE VENEER



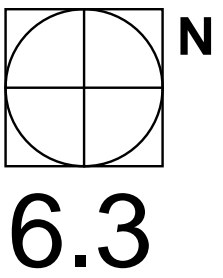
COLOR SCHEME-1

PENINSULA HEIGHTS - SAN MATEO, CA  
CAMPUS POP INVESTOR, LLC

SFD 2 MATERIAL BOARD



JOB NO. 1483.001  
DATE 07-10-20  
5865 Owens Drive  
Pleasanton, CA 94588  
925-251-7200



6.3



# PENINSULA HEIGHTS

## COLOR AND MATERIAL BOARD



**CS-2:**

A: ZIRCON- SW 7667



D: IRON ORE - SW 7069



B: MOODY BLUE - SW 6221



C: ENJOYABLE YELLOW - SW 6666

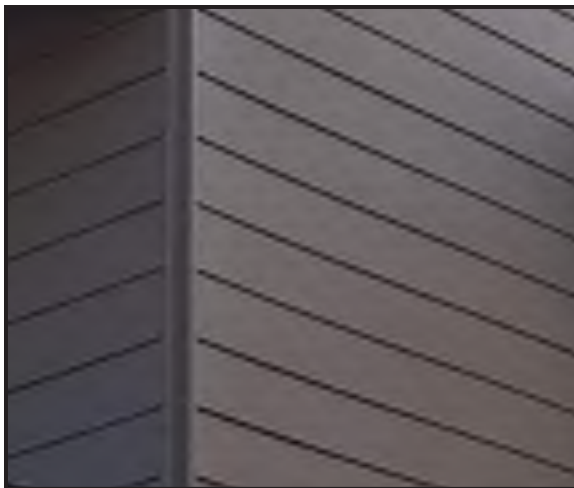


### MATERIALS

1. STUCCO  
SAND FINISH



2. LAP SIDING



3. CEMENTITIOUS.  
PANEL & TRIM



4. VINYL WINDOW



5. METAL HORIZONTAL  
RAILING



6. STONE VENEER



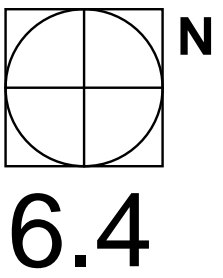
COLOR SCHEME-2

PENINSULA HEIGHTS - SAN MATEO, CA  
CAMPUS POP INVESTOR, LLC

SFD 2 MATERIAL BOARD



JOB NO. 1483.001  
DATE 07-10-20  
5865 Owens Drive  
Pleasanton, CA 94588  
925-251-7200





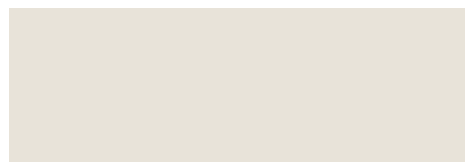
# PENINSULA HEIGHTS

## COLOR AND MATERIAL BOARD



### CS-1:

A: PEARLY WHITE - SW 7009



E: DEBONAIR - SW 9139



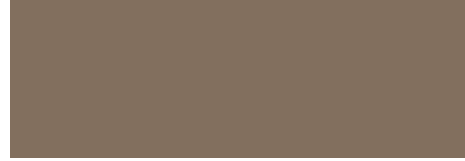
B: AGREEABLE GRAY - SW 7029



F: PERLE NOIR - SW 9154



C: TIKI HUT - SW 7509



G: ANJOU PEAR - SW 6381



D: GAUNTLET FRAY - SW 7019

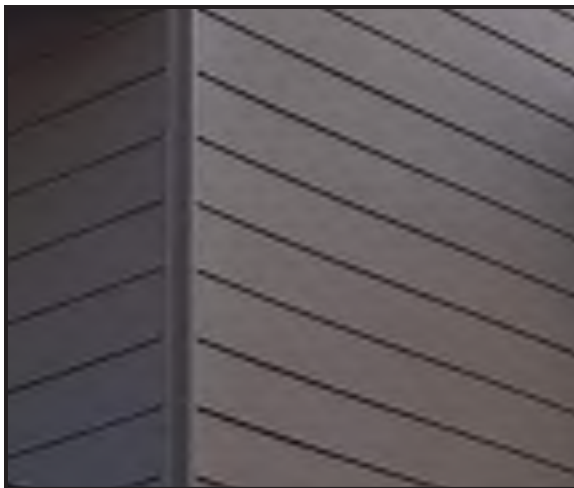


### MATERIALS

1. STUCCO  
SAND FINISH



2. LAP SIDING



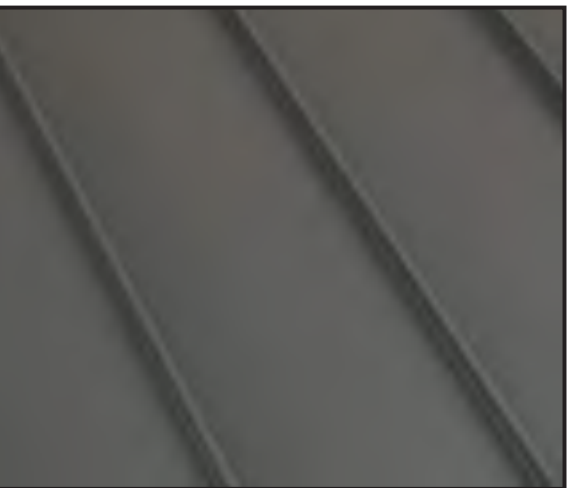
3. CEMENTITIOUS.  
PANEL & TRIM



4. VINYL WINDOW



5. METAL ROOF:  
SLATE GREY



6. METAL HORIZONTAL  
RAILING



7. DECORATIVE SOFFIT



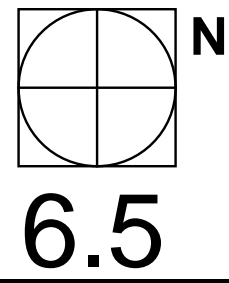
### COLOR SCHEME-1

PENINSULA HEIGHTS - SAN MATEO, CA  
CAMPUS POP INVESTOR, LLC

### TOWNHOME MATERIAL BOARD



JOB NO. 1483.001  
DATE 07-10-20  
5865 Owens Drive  
Pleasanton, CA 94588  
925-251-7200





# PENINSULA HEIGHTS

## COLOR AND MATERIAL BOARD



### CS-2:

A: SNOWFALL- SW 6000

B: SKYLINE STEEL - SW 1015

C: EARL GRAY - SW 7660



D: PORPOISE - SW 7047

E: BAGUETTE - SW 6123



### MATERIALS

1. STUCCO  
SAND FINISH



2. LAP SIDING



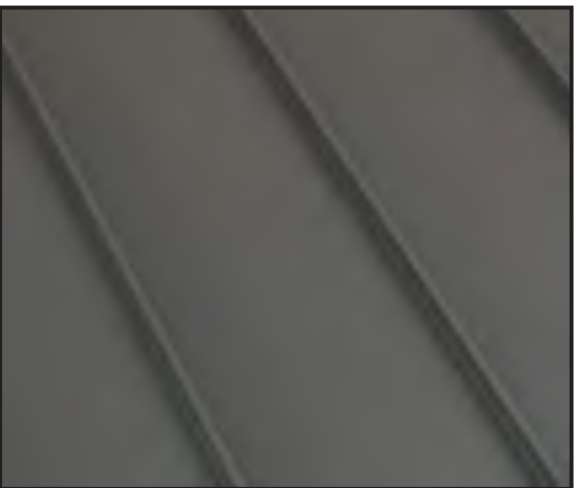
3. CEMENTITIOUS.  
PANEL & TRIM



4. VINYL WINDOW



5. METAL ROOF:  
SLATE GREY



6. METAL HORIZONTAL  
RAILING



7. DECORATIVE SOFFIT



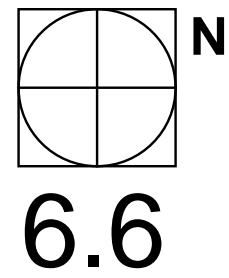
COLOR SCHEME-2

PENINSULA HEIGHTS - SAN MATEO, CA  
CAMPUS POP INVESTOR, LLC

TOWNHOME MATERIAL BOARD



JOB NO. 1483.001  
DATE 07-10-20  
5865 Owens Drive  
Pleasanton, CA 94588  
925-251-7200





# PENINSULA HEIGHTS

## COLOR AND MATERIAL BOARD

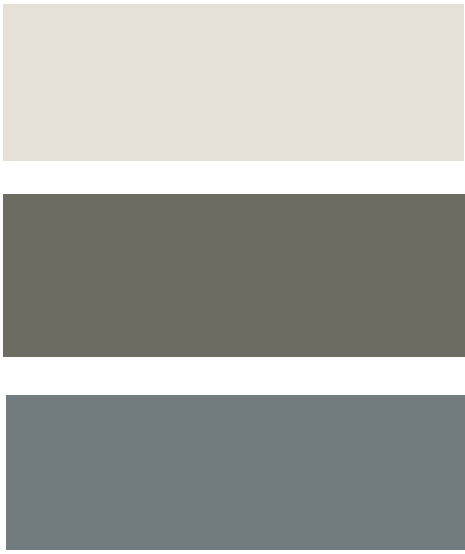


**CS-1:**

A: HERON PLUME - SW 6070

B: THUNDEROUS - SW 6201

C: FOGGY DAY - SW 6235

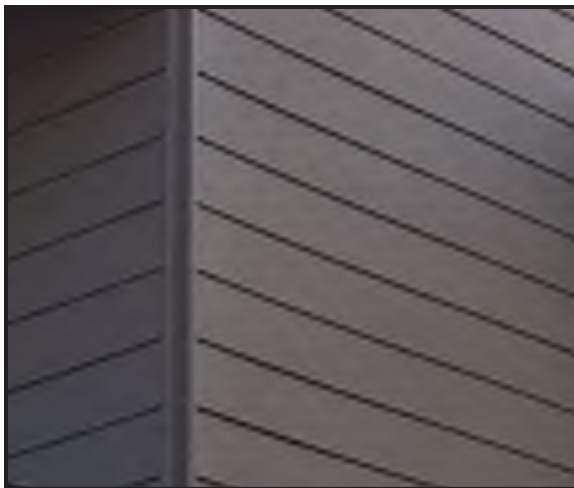


### MATERIALS

1. STUCCO  
SAND FINISH



2. LAP SIDING



3. CEMENTITIOUS.  
PANEL & TRIM



4. VINYL WINDOW



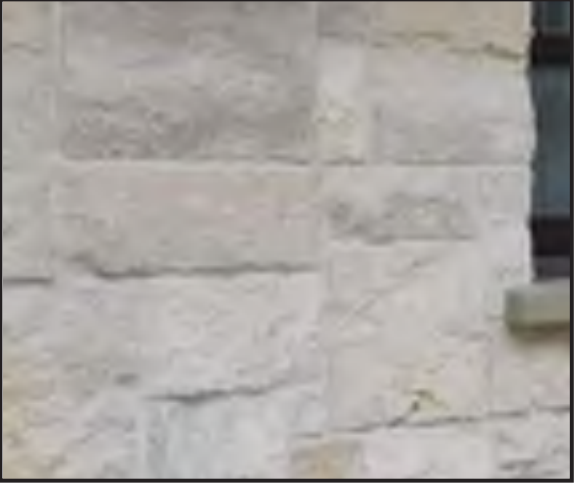
5. METAL HORIZONTAL  
RAILING



6. DECORATIVE METAL  
AWNING



7. STONE VENEER



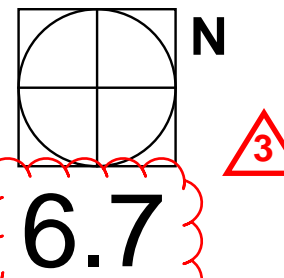
COLOR SCHEME-1

PENINSULA HEIGHTS - SAN MATEO, CA  
CAMPUS POP INVESTOR, LLC

TH OVER FLATS MATERIAL BOARD



JOB NO. 1483.001  
DATE 07-10-20  
5865 Owens Drive  
Pleasanton, CA 94588  
925-251-7200





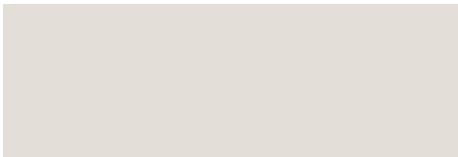
# PENINSULA HEIGHTS

## COLOR AND MATERIAL BOARD

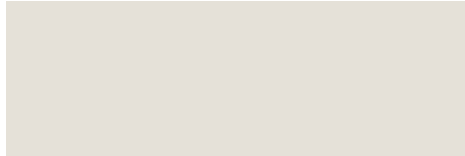


**CS-1:**

**A: INCREDIBLE WHITE - SW 7028**



**D: HERON PLUME - SW 6070**



**B: REALIST BEIGE - SW 6078**

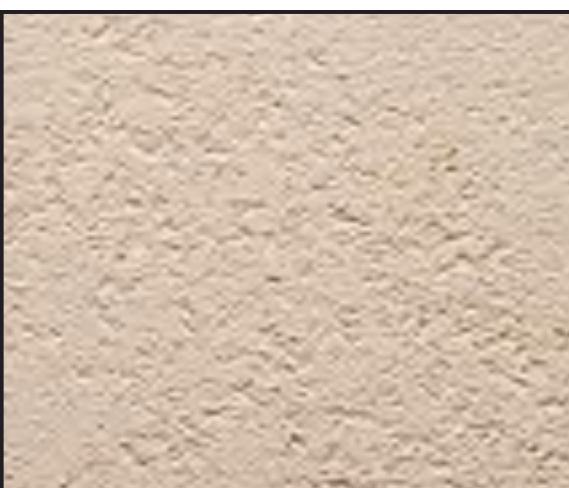


**C: SPECIAL GRAY - SW 6277**

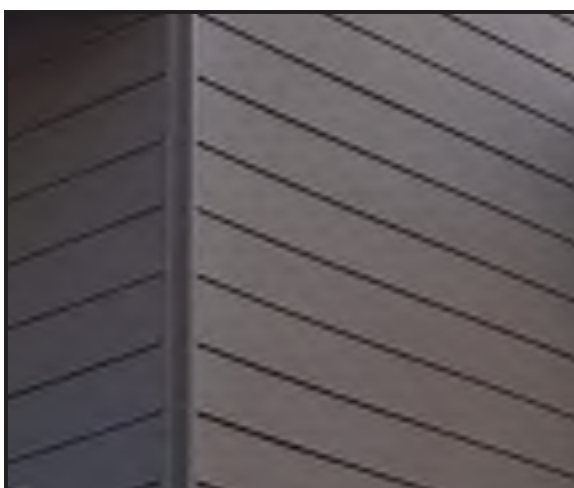


### MATERIALS

1. STUCCO  
SAND FINISH



2. LAP SIDING



3. CEMENTITIOUS.  
PANEL & TRIM



4. VINYL WINDOW



5. METAL HORIZONTAL  
RAILING



6. DECORATIVE METAL  
AWNING



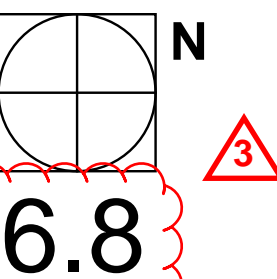
**COLOR SCHEME-2**

**PENINSULA HEIGHTS - SAN MATEO, CA**  
**CAMPUS POP INVESTOR, LLC**

**TH OVER FLATS MATERIAL BOARD**

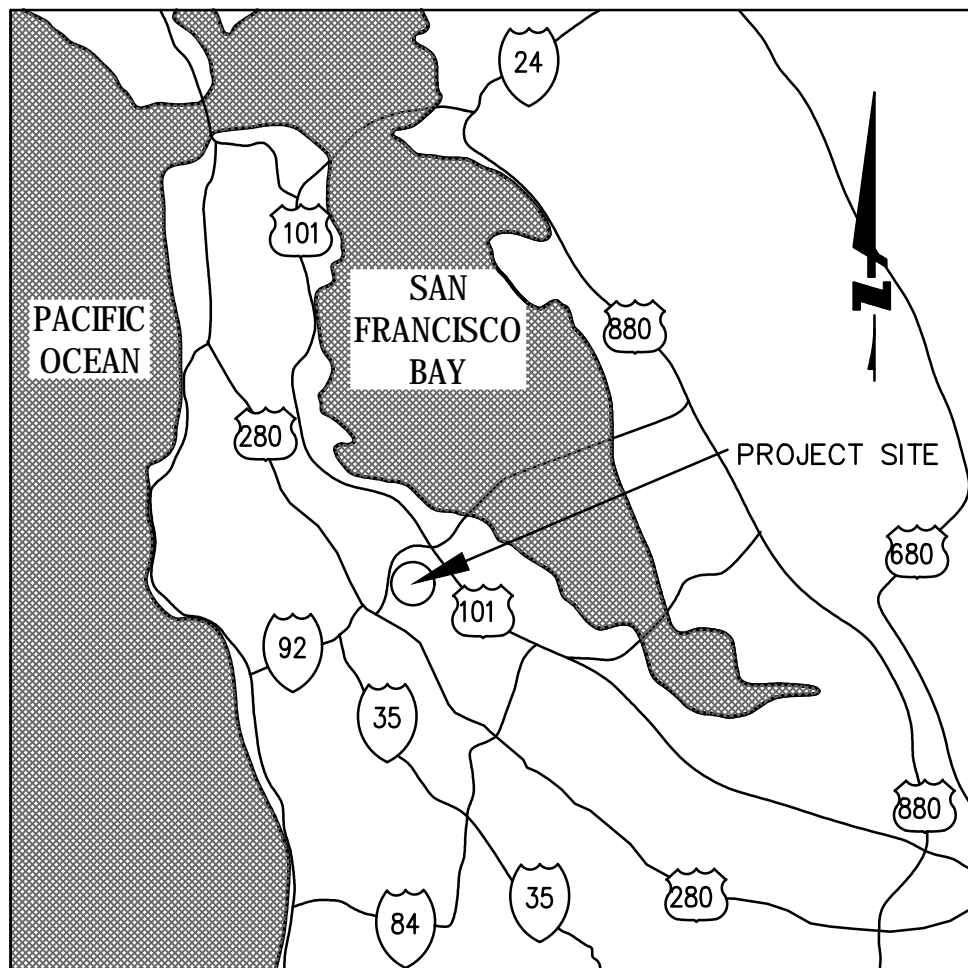


**JOB NO.** 1483.001  
**DATE** 07-10-20  
5865 Owens Drive  
Pleasanton, CA 94588  
925-251-7200





DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort



VICINITY MAP  
N.T.S.

GENERAL NOTES:

1. APN: 041-521-010, 041-521-020, 041-522-010, 041-522-020
2. ZONING: E1 - EXECUTIVE PARK
3. GENERAL PLAN LAND USE: EXECUTIVE OFFICE
4. FEMA FLOOD ZONE: ZONE X: AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN. FLOOD INSURANCE RATE MAP 06081C0162F DATED JULY 16, 2015.
5. PROPOSED PROJECT IS NOT LOCATED WITHIN THE COASTAL ZONE.
6. UTILITIES:
  - WATER: CALIFORNIA WATER SERVICE
  - SEWAGE DISPOSAL: CITY OF SAN MATEO
  - STORM DRAIN: CITY OF SAN MATEO
  - ELECTRIC: PG&E
  - COMMUNICATION: AT&T/ASTOUND BROADBAND
  - CABLE: COMCAST/ASTOUND BROADBAND
7. FIRE PROTECTION: SAN MATEO CONSOLIDATED FIRE DEPARTMENT
8. GRADING SHOWN IS PRELIMINARY AND SUBJECT TO CHANGE DURING FINAL DESIGN. PAD GRADES SHOWN ON SITE DEVELOPMENT PERMIT PLANS MUST BE IN SUBSTANTIAL CONFORMANCE WITH THOSE DEPICTED ON THE APPROVED TENTATIVE MAP.
9. ALL UTILITIES SHOWN ARE TO BE USED AS A GUIDE MAY CHANGE DURING FINAL DESIGN. SHALL ADHERE TO CITY OF SAN MATEO STANDARDS.
10. EXISTING TOPOGRAPHY AND CONTOURS BASED ON AERIAL SURVEY COMPLETED IN JUNE, 2018.
11. MULTIPLE FINAL MAPS: PURSUANT TO CHAPTER 3, ARTICLE 4 SECTION 66456.1 OF THE SUBDIVISION MAP ACT, THE DEVELOPER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS. ONLY THE IMPROVEMENTS REQUIRED TO SUPPORT THE LEVEL OF DEVELOPMENT, AS DETERMINED BY THE CITY, OF EACH PARTICULAR FINAL MAP NEEDS TO BE COMPLETED OR BONDED.

ENGINEER OF WORK

I HEREBY DECLARE THAT I AM THE CIVIL ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6703 OF THE STATE OF CALIFORNIA, BUSINESS PROFESSIONAL CODES, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

DALE LEDA  
PROJECT MANAGER  
P.E. #78436  
BKF ENGINEERS  
DATE

ENGINEER'S STATEMENT

THIS SITE IMPROVEMENT PLAN SUBMITTAL HAS BEEN PREPARED UNDER MY DIRECTION.

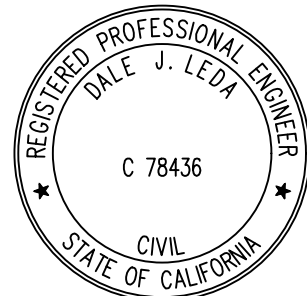
ROLAND N.V. HAGA  
VICE PRESIDENT  
P.E. #43971  
BKF ENGINEERS  
DATE

SHEET INDEX

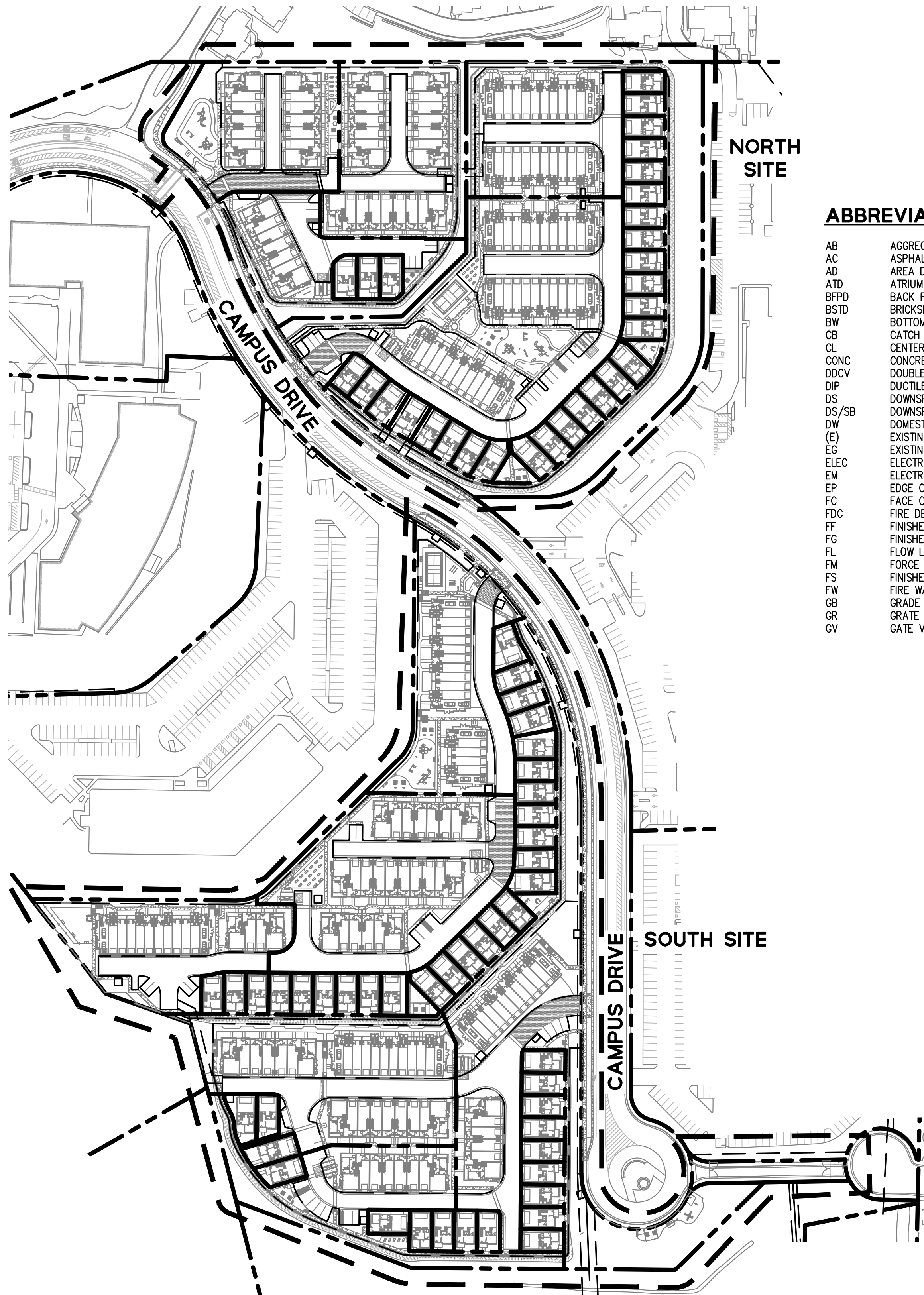
C0.0	TITLE SHEET
NORTH SITE	
SHEET NO.	DESCRIPTION
C1.1	EXISTING CONDITIONS
C2.1	VESTING TENTATIVE MAP
C2.2	SITE ACCESS PLAN
C3.1	GRADING PLAN
C4.1	UTILITY PLAN
C5.1	STORMWATER CONTROL PLAN
C6.1	FIRE ACCESS PLAN
C7.1	EROSION CONTROL PLAN
C8.1	SECTION
C8.2	DETAILS
C8.3	DETAILS
C8.4	PRIVATE STREETS PROFILE
C8.5	PRIVATE STREETS PROFILE
C8.6	UNIT GRADING

SOUTH SITE	
SHEET NO.	DESCRIPTION
C9.1	EXISTING CONDITIONS
C9.2	EXISTING CONDITIONS
C10.1	VESTING TENTATIVE MAP
C10.2	VESTING TENTATIVE MAP
C10.3	SITE ACCESS PLAN
C10.4	SITE ACCESS PLAN
C11.1	GRADING PLAN
C11.2	GRADING PLAN
C12.1	UTILITY PLAN
C12.2	UTILITY PLAN
C13.1	STORMWATER CONTROL PLAN
C13.2	STORMWATER CONTROL PLAN
C14.1	FIRE ACCESS PLAN
C14.2	FIRE ACCESS PLAN
C15.1	EROSION CONTROL PLAN
C15.2	EROSION CONTROL PLAN
C16.1	SECTION
C16.2	DETAILS
C16.3	DETAILS
C16.4	PRIVATE STREETS PROFILE
C16.5	PRIVATE STREETS PROFILE
C16.6	UNIT GRADING
C16.7	UNIT GRADING

ROW WORK	
SHEET NO.	DESCRIPTION
C-1	CONCEPTUAL STRIPING PLAN
C-2	CONCEPTUAL STRIPING PLAN
C-3	CONCEPTUAL STRIPING PLAN

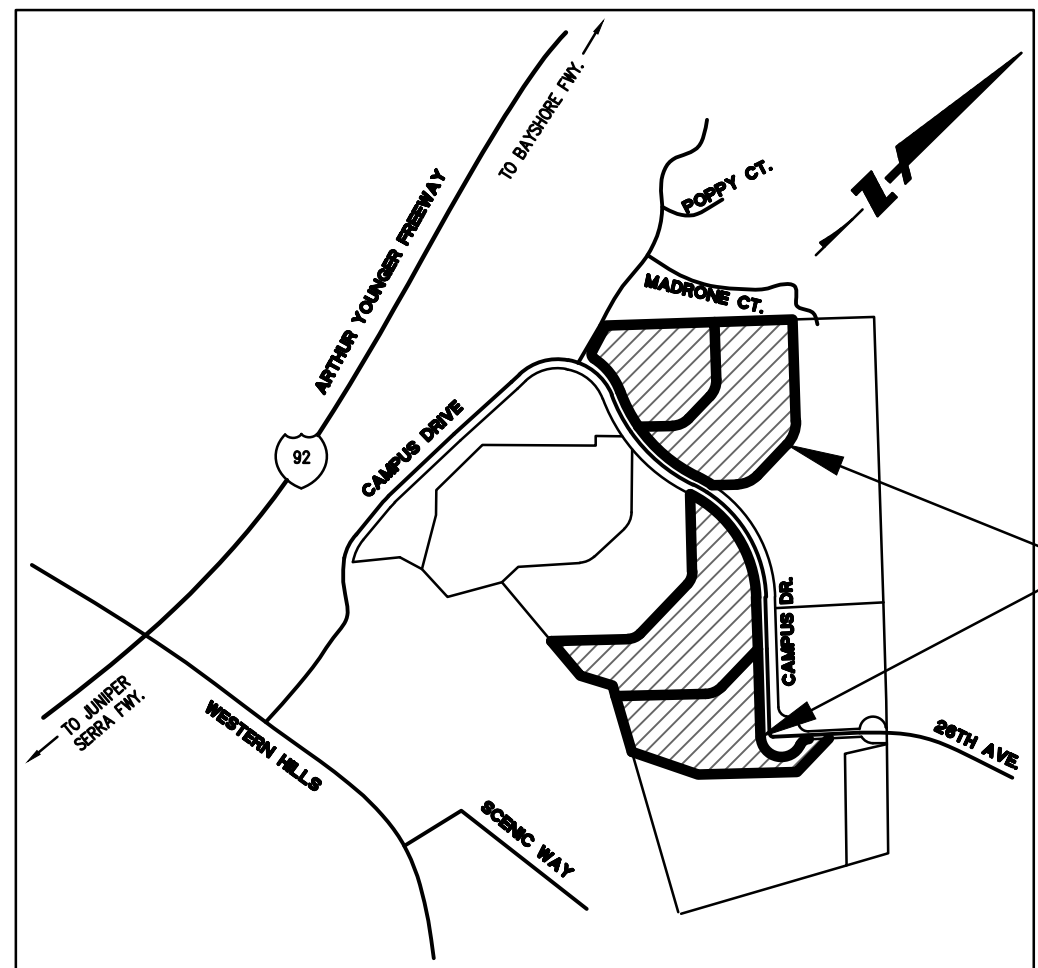


PENINSULA HEIGHTS  
VESTING TENTATIVE MAP FOR CONDOMINIUM PURPOSE  
2655, 2755, 2800, & 2988 CAMPUS DRIVE  
SAN MATEO, CA



ABBREVIATIONS:

AB	AGGREGATE BASE	INV	HIGH POINT
AC	ASPHALT CONCRETE	JT	INVERT ELEVATION
AD	AREA DRAIN	JP	JOINT TRENCH
ATD	ATRIUM DRAIN	LD	JOINT POLE
BFPD	BACK FLOW PREVENTION DEVICE	LF	LANDSCAPE DRAIN
BSTD	BRICKSLOT TRENCH DRAIN	LP	LINEAR FEET
BW	BOTTOM OF WALL ELEVATION	LP (N)	LOW POINT
CB	CATCH BASIN	PIV	NEW
CL	CENTER LINE	POC	POST INDICATOR VALVE
CONC	CONCRETE	RIM	POINT OF CONNECTION
DDCV	DOUBLE DETECTOR CHECK VALVE	S	RIM ELEVATION
DIP	DUCTILE IRON PIPE	SAP	SLOPE
DS	DOWNSPOUT HARD CONNECTION	SBD	SEE ARCHITECTURAL PLANS
DS/SB	DOWNSPOUT TO SPLASH BLOCK	SBD/CO	STORM SUB DRAIN
DW	DOMESTIC WATER LINE	SD	STORM SUB DRAIN CLEANOUT
(E)	EXISTING	SDCO	STORM DRAIN
EG	EXISTING GRADE	SGR	STORM DRAIN CLEANOUT
ELEC	ELECTRICAL	SL	SEE GEOTECHNICAL REPORT
EM	ELECTRICAL METER	SLP	STREE LIGHT
EP	EDGE OF PAVEMENT	SS	SEE LANDSCAPE PLANS
FC	FACE OF CURB ELEVATION	SSCO	SANITARY SEWER
FDC	FIRE DEPARTMENT CONNECTION	SSP	SANITARY SEWER CLEANOUT
FF	FINISHED FLOOR ELEVATION	TW	SEE STRUCTURAL PLANS
FG	FINISHED GROUND ELEVATION	TYP	TOP OF WALL ELEVATION
FL	FLOW LINE ELEVATION	VD	TYPICAL
FM	FORCE MAIN LINE	W	PIPE VERTICAL DROP
FS	FINISHED SURFACE ELEVATION	WM	DOMESTIC WATER LINE
FW	FIRE WATER LINE		WATER METER
GB	GRADE BREAK		
GR	GRATE ELEVATION		
GV	GATE VALVE		



LOCATION MAP  
N.T.S.

LEGEND:

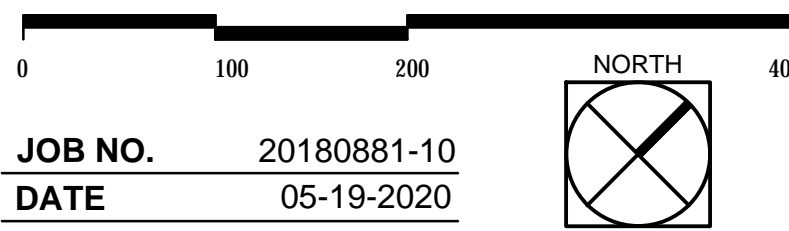
EXISTING	PROPOSED	
6" SS	6" SS	BOUNDARY
10" SD	10" SD	LIMIT OF WORK
4" SBD	4" SBD	SANITARY SEWER
FM	FM	SOLID STORM DRAIN
10" FW	10" FW	PERFORATED SUB DRAIN
2" W	2" W	FORCE MAIN
IRR	IRR	FIRE SERVICE
T	T	DOMESTIC WATER SERVICE
TV	TV	IRRIGATION SERVICE
E	E	TELEPHONE
JT	JT	TV/CABLE TV
0/H	0/H	ELECTRIC
X	X	JOINT TRENCH
		OVERHEAD WIRES
		FENCE
		CLEAN OUT TO GRADE
		FOUND MONUMENT
		DOUBLE DETECTOR CHECK VALVE
		VALVE
		METER BOX
		STREET LIGHT
		DRAIN
		ATRIUM DRAIN
		CATCH BASIN
		FIRE HYDRANT
		FIRE DEPARTMENT CONNECTION
		BENCHMARK
		MANHOLE
		SIGN
		SPLASH BLOCK
		DETAIL NUMBER
		SHEET LOCATION
		TRANSFORMER

PROJECT DESIGN TEAM:

PROPERTY OWNER:	CAMPUS POP OWNER, LLC 2001 ROSS AVENUE, SUITE 3400 DALLAS, TX 75201
APPLICANT:	HARVEST PROPERTIES 180 GRAND AVE, SUITE 1400 OAKLAND, CA 94610 (510) 468-1485 CONTACT: PRESTON O'CONNELL
ARCHITECT:	DAHLIN GROUP 5865 OWENS DR PLEASANTON, CA 94588 (925) 251-7200 CONTACT: PADRU KANG
CIVIL ENGINEER:	BKF ENGINEERS 255 SHORELINE DR, SUITE 200 REDWOOD CITY, CA 94065 (650) 482-6300 CONTACT: DALE LEDA
GEOTECHNICAL:	ENGEQ 6399 SAN IGNACIO AVE, SUITE 150 SAN JOSE, CA 95119 (408) 574-4900 CONTACT: YANET ZEPEDA [REPORT DATED NOVEMBER 26 2019]
LANDSCAPE ARCHITECT:	JETT 2 THEATRE SQUARE, SUITE 218 ORINDA, CA 94563 (925) 254-5422 CONTACT: JESSE MARKMAN



Know what's below.  
Call before you dig.



JOB NO. 20180881-10  
DATE 05-19-2020

255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com

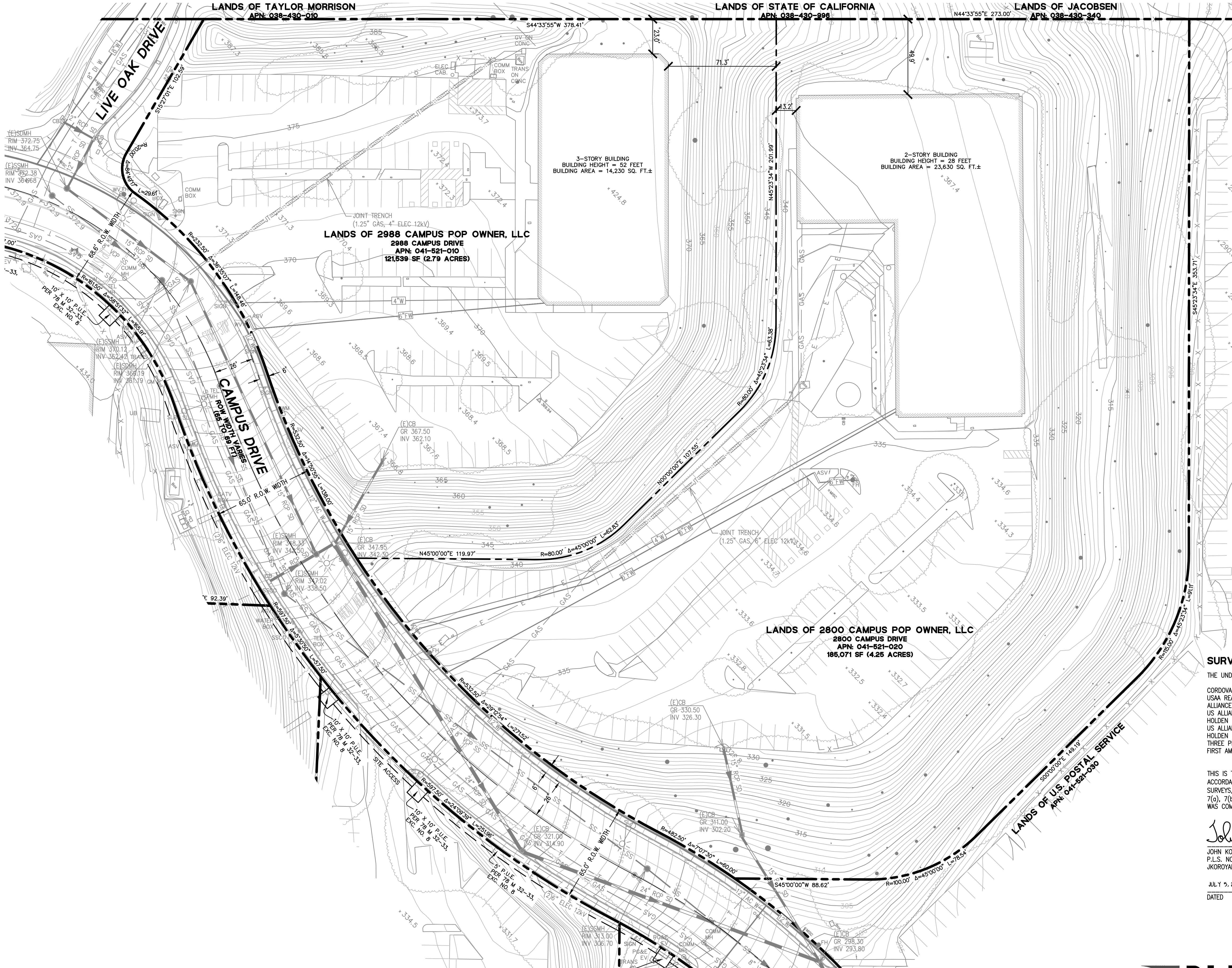


C0.0



DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC



EXISTING CONDITIONS  
NORTH SITE

BASIS OF BEARINGS:

THE BEARING N03°01'11"E OF THE MONUMENT LINE OF CAMPUS DRIVE, BETWEEN FOUND MONUMENTS, AS SAID BEARING IS SHOWN ON THAT CERTAIN MAP ENTITLED "PENINSULA OFFICE PARK", FILED OCTOBER 2, 1972 IN BOOK 78 OF MAPS AT PAGES 32 AND 33, RECORDS OF SAN MATEO COUNTY, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

MAP NOTES:

- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- THE DISTINCTIVE BORDER LINE INDICATES THE BOUNDARY OF TITLE REPORT PARCELS.
- THE LOCATION OF UTILITIES SHOWN ON THIS SURVEY ARE DERIVED FROM SURFACE OBSERVATION ONLY AND SHOWN AT GROUND LEVEL LOCATION.
- PARCEL AREAS/ACREAGE INDICATED HEREIN VARY SLIGHTLY FROM THOSE SHOWN IN THE RECORDED MAP REFERENCED ABOVE.

BENCHMARK:

THE ELEVATIONS SHOWN ON THIS SURVEY AREA ARE BASED UPON THE SAN MATEO BENCHMARK #047-001.

LEGEND:

---	DISTINCTIVE BORDER LINE
---	CENTER LINE
---	EASEMENT LINE
-X-	FENCE LINE
-OH-	OVERHEAD ELECTRIC
-E-	PAINT MARKINGS, "E" - RED PAINT
-CATV-	PAINT MARKINGS, "CCTV" - ORANGE PAINT
●	FOUND STREET MONUMENT, AS NOTED
⊙	FOUND MONUMENT, AS NOTED
⊙	SANITARY SEWER MANHOLE
⊙	STORM DRAIN MANHOLE
*	STREET LIGHT
ASV	ANTI SIPHON VALVE
BNDRY	BOUNDRY
CB	CATCH BASIN
CHD	CORD
CHD BRG	CORD BEARING
EV	ELECTRICAL VAULT
EXC. NO.	TITLE REPORT EXCEPTION NUMBER
HCR	HANDICAPPED RAMP
IN	DISTANCE INSIDE SUBJECT PROPERTY
L.S.E.	LANDSCAPE EASEMENT
M-M	MONUMENT TO MONUMENT DISTANCE
O.R.	OFFICIAL RECORDS
OUT	DISTANCE OUTSIDE SUBJECT PROPERTY
P.U.E.	PUBLIC UTILITY EASEMENT
SLB	STREET LIGHTING BOX
TSB	TRAFFIC SIGNAL BOX
WM	WATER METER
(R)	RADIAL BEARING
( )	RECORD DATA PER 78 MAPS 32-33

EXISTING TREE NOTES:

- EXISTING TREES SHOWN AT CHEST HEIGHT.
- SEE LANDSCAPE SHEET L0.1 FOR TREE NUMBERS, TYPES, AND DIAMETERS

SURVEYOR'S CERTIFICATE

THE UNDERSIGNED, BEING A LICENSED LAND SURVEYOR OF THE STATE OF CALIFORNIA, CERTIFIES TO:

CORDOVA 83 PROPERTIES, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY;  
USAA REAL ESTATE COMPANY;  
ALLIANCE REALTY PARTNERS, LLC;  
US ALLIANCE HOLDEN OF SAN JOSE, LLC;  
HOLDEN OF SAN JOSE ALLIANCE, LLC;  
US ALLIANCE HOLDEN OF ROSEVILLE, LLC, A DELAWARE LIMITED LIABILITY COMPANY;  
HOLDEN OF ROSEVILLE ALLIANCE, LLC, A DELAWARE LIMITED LIABILITY COMPANY;  
THREE PREMIER SHD LP, A TEXAS LIMITED PARTNERSHIP; AND  
FIRST AMERICAN TITLE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(g), 7(a), 7(b)(1), 7(c), 8, 9, 11, 13, 14, 16, 17, 18, 19 AND 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MARCH 22, 2018.

*John Koroan*  
JOHN KOROAN  
P.L.S. NO. 8883  
JKOROYAN@BKf.COM  
JULY 5, 2008  
DATED



**811**  
Know what's below.  
Call before you dig.

0 30 60 120  
NORTH  
JOB NO. 20180881-10  
DATE 05-19-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com  
**C1.1**

**BKf 100+**  
YEARS  
ENGINEERS . SURVEYORS . PLANNERS



DRAWING NAME: K:\2018\Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20  
PLOTTED BY: wort

#### EASEMENT NOTES:

- PRIVATE STREET EASEMENT (PRSE) FOR INGRESS/EGRESS, UNDERGROUND UTILITIES, EMERGENCY VEHICLE ACCESS, PEDESTRIAN ACCESS, GUEST PARKING AND LOADING ZONES.
- COMMON OPEN SPACE EASEMENT (COSE) FOR NON-DEVELOPABLE OPEN SPACE (RETAINING WALLS, ASSOCIATED DRAINAGE AND LANDSCAPING). COMMON OPEN SPACE CANNOT BE SUBDIVIDED OR DEVELOPED IN PERPETUITY.
- PUBLIC UTILITY EASEMENT (PUE) FOR ALL UNDERGROUND PUBLIC UTILITIES, ASSOCIATED STRUCTURES AND MAINTENANCE ACCESS. SEE UTILITY PLAN FOR UTILITY LOCATIONS. STORM DRAINAGE AND SANITARY SEWER FACILITIES LOCATED WITHIN THE PUE SHALL BE PRIVATELY OWNED AND MAINTAINED.
- PRIVATE PEDESTRIAN EASEMENT (PPE) FOR PRIVATE PEDESTRIAN ACCESS.
- PUBLIC ACCESS EASEMENT (PAE) FOR PUBLIC USE OF PARK AMENITIES AND WALKWAYS.
- AS SPECIFIED IN THE CC&RS, FOR PARCELS DESIGNATED FOR CONDOMINIUM PURPOSES, ALL AREA OUTSIDE THE FOOTPRINT OF BUILDINGS WILL BE FOR RESIDENT INGRESS/EGRESS.
- STREETS AND SIDEWALKS WITHIN THE PRIVATE PARCELS SHALL BE PRIVATELY OWNED AND MAINTAINED.

## PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA

### CAMPUS POP INVESTOR, LLC

## VESTING TENTATIVE MAP FOR CONDOMINIUM PURPOSES - NORTH SITE

#### MULTIPLE FINAL MAPS NOTE:

- MULTIPLE FINAL MAPS: PURSUANT TO CHAPTER 3, ARTICLE 4 SECTION 66456.1 OF THE SUBDIVISION MAP ACT, THE DEVELOPER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS. ONLY THE IMPROVEMENTS REQUIRED TO SUPPORT THE LEVEL OF DEVELOPMENT, AS DETERMINED BY THE CITY, OF EACH PARTICULAR FINAL MAP NEEDS TO BE COMPLETED OR BONDED.

#### ZONING AND LAND USE:

ZONING: E1 EXECUTIVE OFFICE PARK  
GENERAL PLAN LAND USE: EXECUTIVE OFFICE  
PROPOSED LAND USE: MULTI FAMILY RESIDENTIAL (PARCELS 1-5)  
SINGLE FAMILY RESIDENTIAL (SFD 1-30)

#### GENERAL NOTES:

- DRIVEWAY APPROACHES, CURB RAMPS, SIDEWALK, CURB AND GUTTER SHALL BE CONSTRUCTED PER CITY OF SAN MATEO STANDARDS.

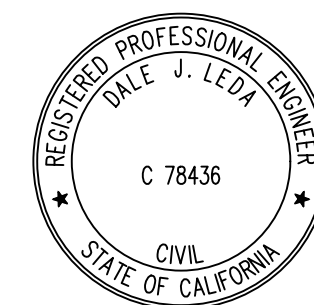
#### LEGEND:

--- PARCEL PROPERTY LINE  
--- EASEMENT LINE  
--- CONDOMINIUM BUILDING OUTLINE

PARCEL	UNIT COUNT	DEVELOPABLE/ NON-DEVELOPABLE	AREA [SF]	AREA [AC]
1	14	DEVELOPABLE	34,499	0.79
2	23	DEVELOPABLE	39,803	0.91
3	7	DEVELOPABLE	27,983	0.64
4	36	DEVELOPABLE	82,566	1.90
5	24	DEVELOPABLE	72,356	1.66
SFD 1	1	DEVELOPABLE	1,725	0.04
SFD 2	1	DEVELOPABLE	1,710	0.04
SFD 3	1	DEVELOPABLE	1,702	0.04
SFD 4	1	DEVELOPABLE	1,583	0.04
SFD 5	1	DEVELOPABLE	1,565	0.04
SFD 6	1	DEVELOPABLE	1,855	0.04
SFD 7	1	DEVELOPABLE	1,804	0.04
SFD 8	1	DEVELOPABLE	1,679	0.04
SFD 9	1	DEVELOPABLE	1,564	0.04
SFD 10	1	DEVELOPABLE	1,582	0.04
SFD 11	1	DEVELOPABLE	1,688	0.04
SFD 12	1	DEVELOPABLE	1,804	0.04
SFD 13	1	DEVELOPABLE	1,639	0.04
SFD 14	1	DEVELOPABLE	1,608	0.04
SFD 15	1	DEVELOPABLE	1,608	0.04
SFD 16	1	DEVELOPABLE	1,608	0.04
SFD 17	1	DEVELOPABLE	1,604	0.04
SFD 18	1	DEVELOPABLE	1,720	0.04
SFD 19	1	DEVELOPABLE	1,643	0.04
SFD 20	1	DEVELOPABLE	1,608	0.04
SFD 21	1	DEVELOPABLE	1,608	0.04
SFD 22	1	DEVELOPABLE	1,608	0.04
SFD 23	1	DEVELOPABLE	1,608	0.04
SFD 24	1	DEVELOPABLE	1,622	0.04
SFD 25	1	DEVELOPABLE	1,608	0.04
SFD 26	1	DEVELOPABLE	1,608	0.04
SFD 27	1	DEVELOPABLE	1,608	0.04
SFD 28	1	DEVELOPABLE	1,608	0.04
SFD 29	1	DEVELOPABLE	1,608	0.04
SFD 30	1	DEVELOPABLE	1,604	0.04
TOTAL			306,610	7.04

#### PARCEL NOTES:

- PARCEL 1 THRU 5 ARE DESIGNATED FOR CONDOMINIUM PURPOSES. ALL AREA OUTSIDE THE FOOTPRINT OF BUILDINGS ARE COMMON AREA. THE PARK AMENITIES AND WALKWAYS DESIGNATED BY PUBLIC ACCESS EASEMENTS ARE FOR PUBLIC USE.
  - PARCELS SFD 1 THROUGH SFD 30 FOR SMALL LOT SINGLE FAMILY DWELLINGS.
  - MINIMUM STRUCTURE SETBACKS FOR SFD LOTS:  
FRONT - 4.2 FEET  
SIDE - 3.0 FEET  
REAR - 3.0 FEET
  - AVERAGE LOT DIMENSIONS FOR SFD LOTS:  
DEPTH - 55.0 FEET  
WIDTH - 29.25 FEET
  - AVERAGE LOT DIMENSIONS FOR PARCELS FOR CONDOMINIUM PURPOSES:  
(SEE SHEET C8.6 FOR AVERAGE LOT DEPTH AND WIDTH CALCULATIONS)
- | PARCEL # | DEPTH (FEET) | WIDTH (FEET) |
|----------|--------------|--------------|
| 1        | 170          | 207          |
| 2        | 230          | 172          |
| 3        | 74           | 288          |
| 4        | 169          | 371          |
| 5        | 94           | 375          |

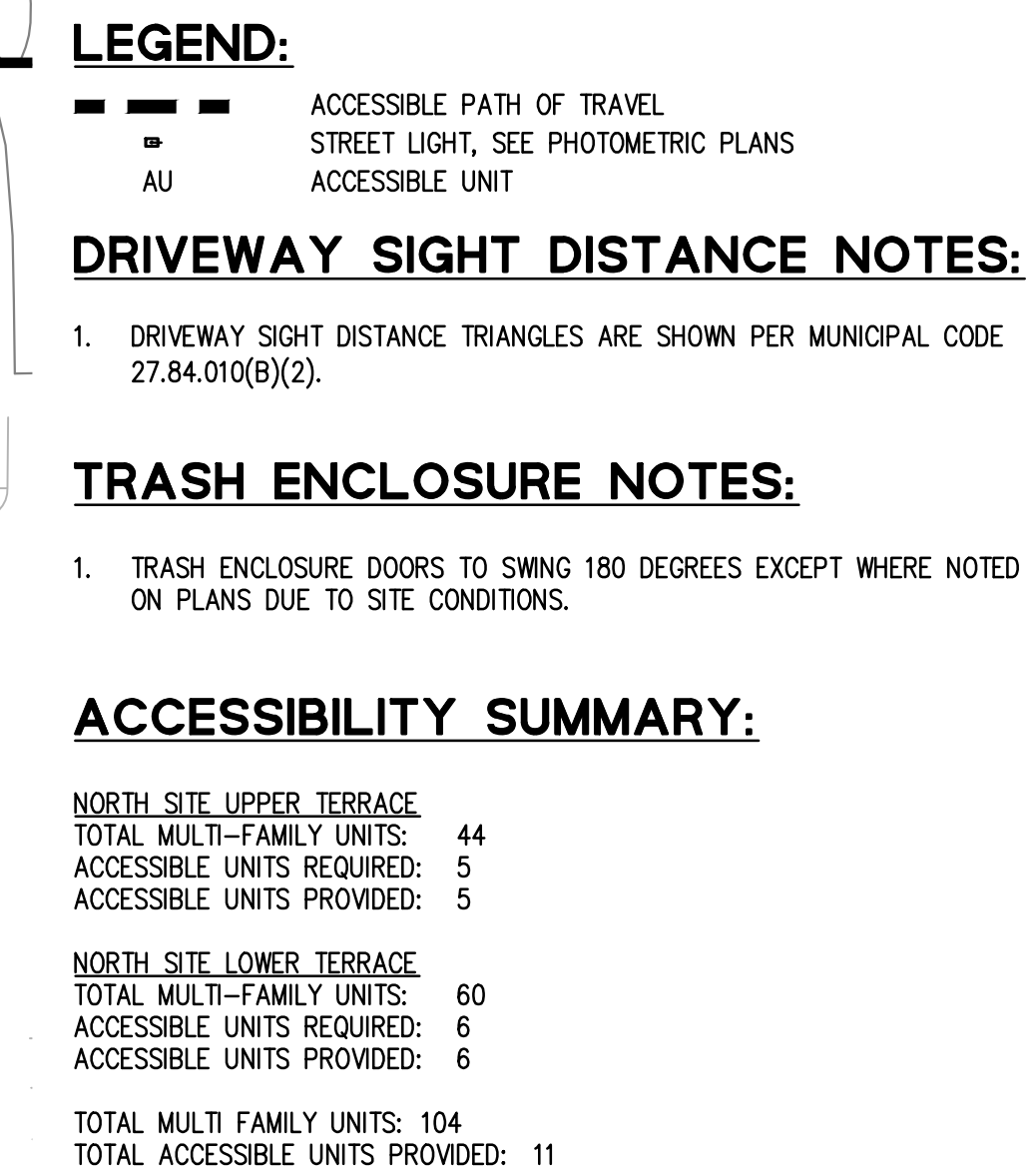


0 30 60 120  
NORTH  
JOB NO. 20180881-10  
DATE 05-19-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com

C2.1

**BKF** 100+ YEARS  
ENGINEERS . SURVEYORS . PLANNERS





PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

# SITE ACCESS PLAN NORTH SITE



**JOB NO.** 20180881-10  
**DATE** 05-19-2020

---

255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
[www.bkf.com](http://www.bkf.com)

## C2.2



DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC



GRADING NOTES:

1. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT 5% FOR A DISTANCE OF 10', WHERE POSSIBLE, UNLESS OTHERWISE NOTED ON THE PLANS. SLOPE PORCHES, LANDINGS AND TERRACES 2% (1/4" PER FOOT) AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED ON PLANS.
2. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS.
3. CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY, THE GEOTECHNICAL INVESTIGATION AND THE PROPOSED SURFACE THICKNESS AND BASE THE BID ACCORDINGLY. IT IS THE CONTRACTORS RESPONSIBILITY TO CONFIRM IF A SEPARATE DEMOLITION CONTRACT HAS BEEN ISSUED TO TAKE THE SITE FROM THE WAY IT IS AT THE TIME OF THE BID TO THE CONDITIONS DESCRIBED IN THESE DOCUMENTS. ANY DIFFERENCES BETWEEN THE STATE IN WHICH THE SITE IS DELIVERED TO THE CONTRACTOR AND THESE DOCUMENTS SHOULD BE NOTED TO THE ENGINEER/ARCHITECT.
4. ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE CLIENT'S GEOTECHNICAL ENGINEER TO TAKE THE APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.
5. IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.
6. DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER/ARCHITECT.
7. ROUGH GRADING TO BE WITHIN 0.1' AND FINISH GRADES ARE TO BE WITHIN 0.05', HOWEVER CONTRACTOR SHALL NOT CONSTRUCT ANY IMPROVEMENTS THAT WILL CAUSE WATER TO POND OR NOT MEET REQUIREMENTS IN GRADING NOTE #1.
8. THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS, AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTORS SHALL BE REQUIRED TO CORRECTIVE GRADING, AT NO EXTRA COST TO THE CLIENT.
9. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND CIVIL ENGINEER IN WRITING PRIOR TO START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
10. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
11. DISTURBED AREAS OF THE SITE SHOULD BE STABILIZED DURING THE RAINY SEASON USING STRAW MULCH (EC-6) OR WOOD MULCHING (EC-8).
12. PERMANENT EROSION CONTROL SHALL BE PROVIDED BY LANDSCAPING SUCH AS SHRUBS, SOD OR MULCH. LANDSCAPE DESIGN MAY BE SUBJECT TO CHANGE.

HATCH LEGEND:

- CONCRETE SIDEWALK
- CONCRETE TRASH ENCLOSURE PAD
- BIORETENTION - CONVENTIONAL
- BIORETENTION - SILVA CELL
- PERMEABLE PAVING WITH SILVA CELLS

TREE REMOVAL NOTE:

1. SEE LANDSCAPE SHEET L0.1 FOR TREES TO BE REMOVED

EARTHWORK QUANTITIES - NORTH SITE

GREATEST SLOPE ONSITE WHERE DEVELOPMENT OCCURS: 50%  
GRADING OCCURS IN SLOPE SETBACK PER SMMC 27.40.030(C): YES

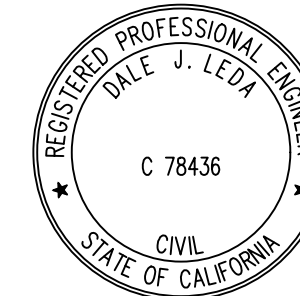
GROSS FIGURES

CUT	25,500 CUBIC YARDS
FILL	21,500 CUBIC YARDS
TOTAL	47,000 CUBIC YARDS
BALANCE	4,000 CUBIC YARDS OF EXPORT

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION, AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.



Know what's below.  
Call before you dig.



JOB NO. 20180881-10  
DATE 05-19-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com

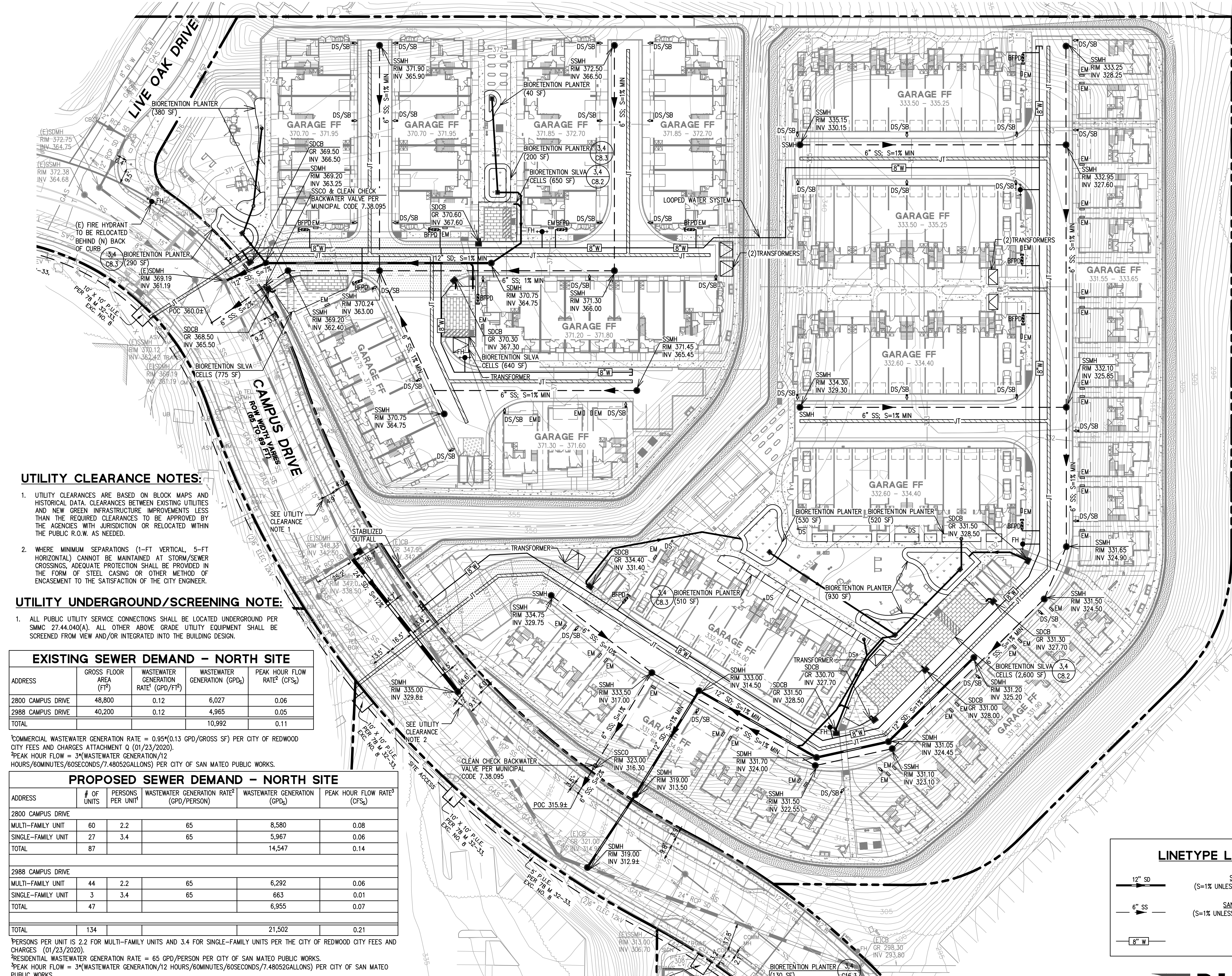


C3.1

GRADING PLAN  
NORTH SITE



DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort



**UTILITY CLEARANCE NOTES:**

- UTILITY CLEARANCES ARE BASED ON BLOCK MAPS AND HISTORICAL DATA. CLEARANCES BETWEEN EXISTING UTILITIES AND NEW GREEN INFRASTRUCTURE IMPROVEMENTS LESS THAN THE REQUIRED CLEARANCES TO BE APPROVED BY THE AGENCIES WITH JURISDICTION OR RELOCATED WITHIN THE PUBLIC R.O.W. AS NEEDED.
- WHERE MINIMUM SEPARATIONS (1-FIT VERTICAL, 5-FT HORIZONTAL) CANNOT BE MAINTAINED AT STORM/SEWER CROSSINGS, ADEQUATE PROTECTION SHALL BE PROVIDED IN THE FORM OF STEEL CASING OR OTHER METHOD OF ENCASEMENT TO THE SATISFACTION OF THE CITY ENGINEER.

**UTILITY UNDERGROUND/SCREENING NOTE:**

- ALL PUBLIC UTILITY SERVICE CONNECTIONS SHALL BE LOCATED UNDERGROUND PER SMMC 27.44.040(A). ALL OTHER ABOVE GRADE UTILITY EQUIPMENT SHALL BE SCREENED FROM VIEW AND/OR INTEGRATED INTO THE BUILDING DESIGN.

EXISTING SEWER DEMAND - NORTH SITE				
ADDRESS	GROSS FLOOR AREA (FT <sup>2</sup> )	WASTEWATER GENERATION RATE <sup>1</sup> (GPD/FT <sup>2</sup> )	WASTEWATER GENERATION (GPDs)	PEAK HOUR FLOW RATE <sup>2</sup> (CFS <sub>s</sub> )
2800 CAMPUS DRIVE	48,800	0.12	6,027	0.06
2988 CAMPUS DRIVE	40,200	0.12	4,965	0.05
TOTAL			10,992	0.11

<sup>1</sup>COMMERCIAL WASTEWATER GENERATION RATE = 0.95\*(0.13 GPD/GROSS SF) PER CITY OF REDWOOD CITY FEES AND CHARGES ATTACHMENT Q (01/23/2020)  
<sup>2</sup>PEAK HOUR FLOW = 3\*(WASTEWATER GENERATION/12 HOURS/60MINUTES/60SECONDS/7.48052GALLONS) PER CITY OF SAN MATEO PUBLIC WORKS.

PROPOSED SEWER DEMAND - NORTH SITE					
ADDRESS	# OF UNITS	PERSONS PER UNIT <sup>1</sup>	WASTEWATER GENERATION RATE <sup>2</sup> (GPD/PERSON)	WASTEWATER GENERATION (GPDs)	PEAK HOUR FLOW RATE <sup>3</sup> (CFS <sub>s</sub> )
2800 CAMPUS DRIVE					
MULTI-FAMILY UNIT	60	2.2	65	8,580	0.08
SINGLE-FAMILY UNIT	27	3.4	65	5,967	0.06
TOTAL	87			14,547	0.14
2988 CAMPUS DRIVE					
MULTI-FAMILY UNIT	44	2.2	65	6,292	0.06
SINGLE-FAMILY UNIT	3	3.4	65	663	0.01
TOTAL	47			6,955	0.07
TOTAL	134			21,502	0.21

<sup>1</sup>PERSONS PER UNIT IS 2.2 FOR MULTI-FAMILY UNITS AND 3.4 FOR SINGLE-FAMILY UNITS PER THE CITY OF REDWOOD CITY FEES AND CHARGES (01/23/2020).  
<sup>2</sup>RESIDENTIAL WASTEWATER GENERATION RATE = 65 GPD/PERSON PER CITY OF SAN MATEO PUBLIC WORKS.  
<sup>3</sup>PEAK HOUR FLOW = 3\*(WASTEWATER GENERATION/12 HOURS/60MINUTES/60SECONDS/7.48052GALLONS) PER CITY OF SAN MATEO PUBLIC WORKS.

**PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA**  
**CAMPUS POP INVESTOR, LLC**

**STORM DRAIN NOTES:**

- PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITH A MINIMUM OF TWO (2) FEET OF COVER IN NON-TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 WHITE PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLUED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS, 45° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
- PRIVATE STORM DRAIN LINE 6-INCH THROUGH 12-INCH WITH LESS THAN THREE (3) FEET OF COVER IN VEHICULAR TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) C900, RATED FOR 150 PSI CLASS PIPE. PROVIDE AND INSTALL "STORM DRAIN" MARKER TAPE FOR THE ENTIRE LENGTH OF PIPE TRENCH IN ACCORDANCE WITH CITY/TOWN STANDARDS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, OBSTUSE ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
- ALL AREA DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.
- ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
- FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM.
- DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER.
- ALL STORM DRAIN INLETS SHALL INCORPORATE TRASH CAPTURE CONSISTENT WITH SWRCB DEFINITION OF FULL CAPTURE SYSTEM.

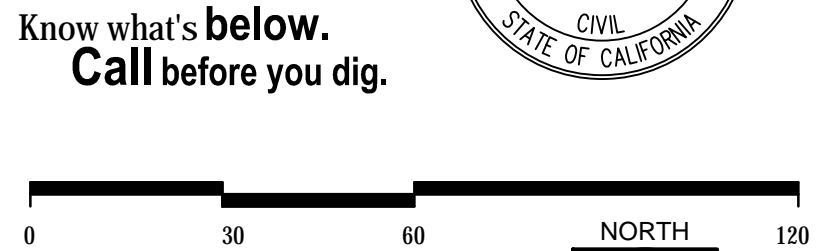
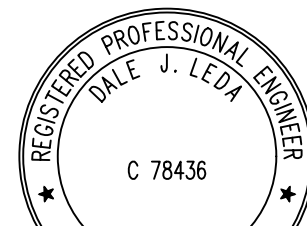
**SANITARY SEWER NOTES:**

- ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE CITY/TOWN OR APPROPRIATE SANITARY SEWER DISTRICT.
- PRIVATE SANITARY SEWER SERVICE LINE 4-INCH THROUGH 8-INCH SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 GREEN SEWER PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLUED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR 45° ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED. PUBLIC SANITARY SEWER LINES AND MAINS SHALL BE PER CITY/TOWN STANDARDS.
- ALL LATERALS SHALL HAVE A CLEANOUT AT FACE OF BUILDING PER THE CITY STANDARD OR APPROPRIATE SANITARY SEWER DISTRICT.
- IF (E) SEWER LATERAL IS TO BE USED, CONTRACTOR SHALL PERFORM PRESSURE TEST ON (E) SEWER LATERAL, AND SHALL PERFORM ANY NEEDED REPAIRS. EXTEND (N) OR (E) SEWER LINE AS SHOWN ON THE PLANS SLOPED AT 2% MINIMUM. INSTALL CLEANOUT AT FACE OF BUILDING AND AT PROPERTY LINE.

**WATER SYSTEM NOTES:**

- MAINTAIN WATER LINES 10' AWAY FROM SANITARY SEWER LINES.
- WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90 DEGREE ANGLE AND WATER LINES SHALL BE MINIMUM OF 12" ABOVE TOP OF SANITARY SEWER LINES.
- WATER LINES ARE SHOWN SCHEMATICALLY, CONTRACTOR SHALL IDENTIFY EACH ANGLE AND/OR BEND THAT MAY BE REQUIRED TO ACCOMPLISH THE INTENDED DESIGN.
- ALL WATER SERVICE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY/TOWN OR APPLICABLE WATER DISTRICT STANDARDS.
- CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE APPROVED BY THE CITY/TOWN. THE CONTRACTOR SHALL PAY THE ACTUAL COSTS OF CONSTRUCTION. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, PREPARE THE SITE, FURNISH ALL MATERIALS, INSTALL TAPPING TEE, VALVE AND ALL THRUST BLOCKS, BACKFILL, RESTORE THE SURFACE, AND CLEAN UP. THE CITY/TOWN WILL PROVIDE THE CLIENT WITH A LIST OF APPROVED CONTRACTORS FOR MAKING WET TAPS. NONMETALLIC WATER LINES SHALL HAVE TRACER WIRES INSTALLED.
- ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER.
- CONTRACTOR SHALL SIZE AND INSTALL ALL NEW DESIGN BUILD DOMESTIC IRRIGATION AND FIRE WATER LINE(S) IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM/CALIFORNIA PLUMBING AND FIRE CODES. (ALL FIXTURE UNIT COUNTS SHALL BE REVIEWED AND APPROVED BY THE CITY/TOWN'S BUILDING AND/OR WATER DEPARTMENT PRIOR TO CONSTRUCTION.)
- CONCRETE THRUST BLOCKS SHALL BE INSTALLED AT ALL TEES, CROSSES, BENDS (HORIZONTAL AND VERTICAL), AT SIZE CHANGES AND AT FIRE HYDRANTS PER CITY/TOWN STANDARD, AWWA C600, SECTION 3.8 UNLESS NOTED OTHERWISE.
- ALL ON AND OFF-SITE LANDSCAPE IRRIGATION SYSTEMS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS AND SHALL BE CONNECTED TO THE EXISTING AND/OR NEW WATER SYSTEM AND METERED ACCORDINGLY.
- INSTALL CITY/TOWN APPROVED PRESSURE REGULATOR AND REDUCED BACKFLOW PREVENTOR ON WATER LINE AT EACH CLUSTER OF UNITS AND AT EACH SINGLE FAMILY DWELLING UNIT. REFERENCE PLUMBING PLANS FOR MORE DETAIL.

LINETYPE LEGEND	
12" SD	STORM DRAIN (S=1% UNLESS OTHERWISE INDICATED)
6" SS	SANITARY SEWER (S=1% UNLESS OTHERWISE INDICATED)
8" W	WATER



JOB NO. 20180881-10  
DATE 05-19-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com



**UTILITY PLAN**  
**NORTH SITE**

**C4.1**



DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

STORMWATER CONTROL PLAN  
NORTH SITE



03060120

0

30

60

120

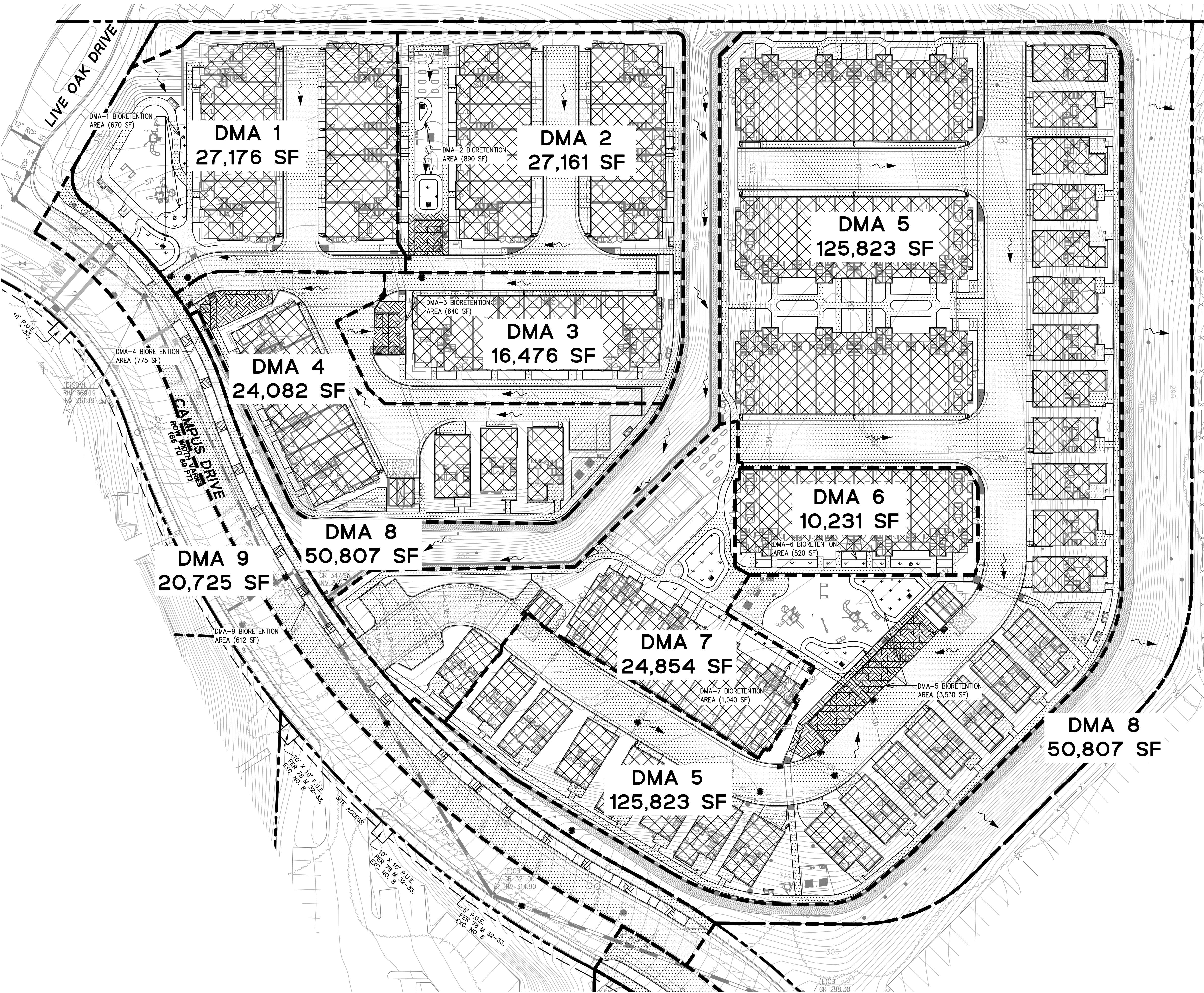
NORTH

JOB NO. 20180881-10

DATE 05-19-2020

255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com

C5.1



LEGEND					
	(P) PERVIOUS LANDSCAPE				
	(P) PERVIOUS PAVEMENT				
	(P) IMPERVIOUS HARDSCAPE				
	(P) IMPERVIOUS BUILDING				
	(P) BIORETENTION AREA				
	(P) SILVA CELLS				

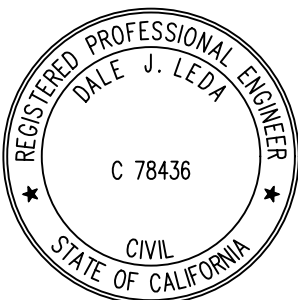
	DMA 1	DMA 2	DMA 3	DMA 4	DMA 5
TOTAL AREA	27,176 SQ FT	27,161 SQ FT	16,476 SQ FT	24,082 SQ FT	125,823 SQ FT
(P) PERVIOUS AREA					
PERVIOUS LANDSCAPE	8,167 SQ FT	5,357 SQ FT	2,217 SQ FT	4,726 SQ FT	29,948 SQ FT
PERVIOUS PAVEMENT	0 SQ FT	375 SQ FT	407 SQ FT	280 SQ FT	1,627 SQ FT
TOTAL:	8,167 SQ FT	5,732 SQ FT	2,624 SQ FT	5,006 SQ FT	31,575 SQ FT
(P) IMPERVIOUS AREA					
HARDSCAPE	7,621 SQ FT	9,711 SQ FT	6,525 SQ FT	10,192 SQ FT	46,407 SQ FT
BUILDINGS	11,388 SQ FT	11,718 SQ FT	7,327 SQ FT	8,884 SQ FT	47,841 SQ FT
TOTAL:	19,009 SQ FT	21,429 SQ FT	13,852 SQ FT	19,076 SQ FT	94,248 SQ FT
TOTAL EFFECTIVE IMPERVIOUS AREA <sup>1</sup>	19,827 SQ FT	22,002 SQ FT	14,114 SQ FT	19,577 SQ FT	97,406 SQ FT
REQUIRED LID TREATMENT AREA <sup>2</sup>	633 SQ FT	700 SQ FT	450 SQ FT	625 SQ FT	3,115 SQ FT
PROVIDED LID TREATMENT AREA <sup>3</sup>	670 SQ FT	890 SQ FT	640 SQ FT	775 SQ FT	3,530 SQ FT

	DMA 6	DMA 7	DMA 8 <sup>4</sup>	DMA 9
TOTAL AREA	10,231 SQ FT	24,854 SQ FT	50,807 SQ FT	20,725 SQ FT
(P) PERVIOUS AREA				
PERVIOUS LANDSCAPE	1,759 SQ FT	9,155 SQ FT	50,807 SQ FT	3,277 SQ FT
PERVIOUS PAVEMENT	0 SQ FT	0 SQ FT	0 SQ FT	0 SQ FT
TOTAL:	1,759 SQ FT	9,155 SQ FT	50,807 SQ FT	3,277 SQ FT
(P) IMPERVIOUS AREA				
HARDSCAPE	738 SQ FT	6,649 SQ FT	0 SQ FT	17,448 SQ FT
BUILDINGS	7,734 SQ FT	9,050 SQ FT	0 SQ FT	0 SQ FT
TOTAL:	8,472 SQ FT	15,699 SQ FT	0 SQ FT	17,448 SQ FT
TOTAL EFFECTIVE IMPERVIOUS AREA <sup>1</sup>	8,648 SQ FT	16,615 SQ FT	0 SQ FT	17,776 SQ FT
REQUIRED LID TREATMENT AREA <sup>2</sup>	276 SQ FT	530 SQ FT	0 SQ FT	568 SQ FT
PROVIDED LID TREATMENT AREA <sup>3</sup>	520 SQ FT	1,040 SQ FT	0 SQ FT	576 SQ FT

- NOTES:
- EFFECTIVE IMPERVIOUS AREA IS EQUAL TO THE TOTAL IMPERVIOUS AREA PLUS 0.1 TIMES THE TOTAL PERVIOUS AREA PER THE SAN MATEO COUNTY C.3 MANUAL.
  - REQUIRED LID TREATMENT AREAS ARE DETERMINED FROM THE SAN MATEO COUNTY C.3 COMBINED FLOW AND VOLUME METHOD.
  - PROVIDED LID TREATMENT IS COMBINATION OF BIORETENTION AREAS AND SILVA CELLS.
  - DMA 8 DOES NOT REQUIRE A BIOTREATMENT AREA BECAUSE IT IS SELF-TREATING AND BYPASSES THE ONSITE STORM DRAIN SYSTEM.
  - OFFSITE TREATMENT FOR PUBLIC RIGHT-OF-WAY SHOWN IN DMA 9 IS NOT INCLUDED IN THE C.3 AND C.6 DEVELOPMENT REVIEW CHECKLIST.

STORM DRAIN NOTES:

- SEE UNIT GRADING SHEET (C8.6) FOR CONCEPTUAL DRAINAGE FOR INDIVIDUAL UNITS.
- SITE IS SUBJECT TO SMCWPPP HYDROMODIFICATION REQUIREMENTS.



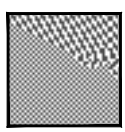


DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort

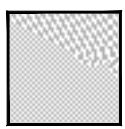
PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

FIRE ACCESS PLAN  
NORTH SITE

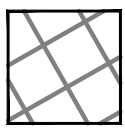
FIRE ACCESS NOTES:



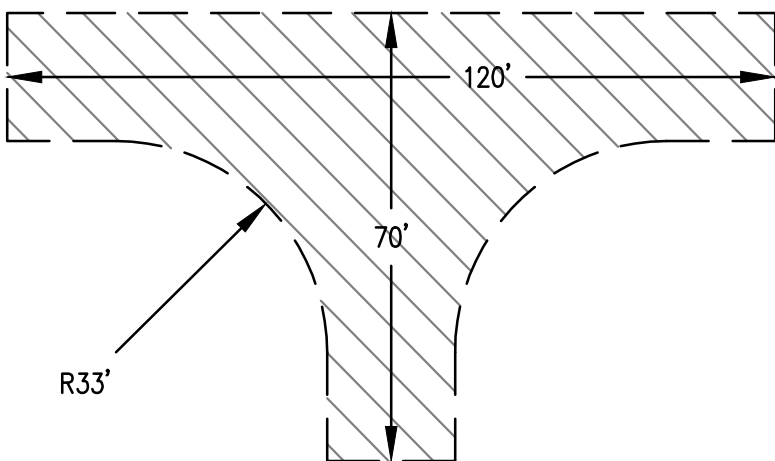
DESIGNATES 26-FT UNOBSTRUCTED FIRE LANE WIDTH AND NO LESS THAN 13.5-FT UNOBSTRUCTED HEIGHT FOR AERIAL APPARATUS ACCESS. ALL CURBS WITHIN SHALL BE RED PAINTED AND MARKED WITH WHITE CURB LETTERING "NO PARKING, FIRE LANE" AT NO LESS THAN 25-FT INTERVALS.



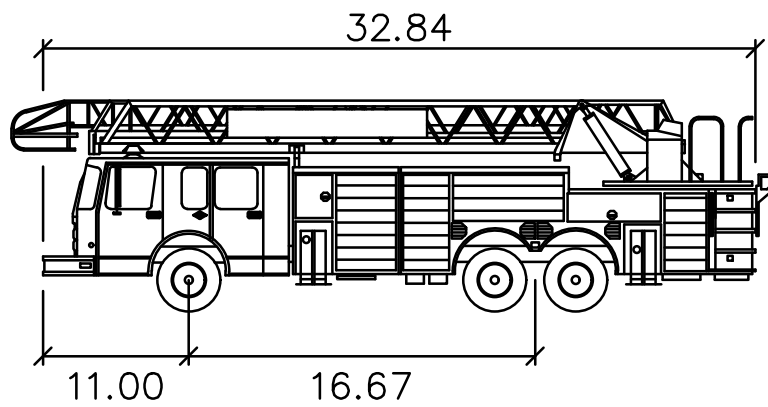
DESIGNATES 20-FT (MINIMUM) UNOBSTRUCTED FIRE LANE WIDTH FOR FIRE APPARATUS ACCESS. ALL CURBS WITHIN SHALL BE RED PAINTED AND MARKED WITH WHITE CURB LETTERING "NO PARKING, FIRE LANE" AT NO LESS THAN 25-FT INTERVALS.



4-STORY UNITS



FIRE TRUCK TURNAROUND PER SAN MATEO FIRE DEPARTMENT. ALL CURBS ALONG FIRE TRUCK TURNAROUNDS SHALL BE RED PAINTED AND MARKED WITH WHITE CURB LETTERING "NO PARKING, FIRE LANE" AT NO LESS THAN 25-FT INTERVALS.



FIRE TRUCK

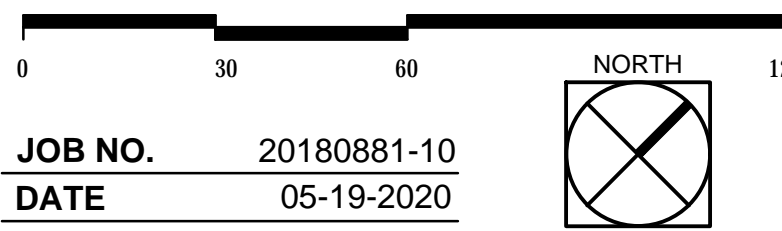
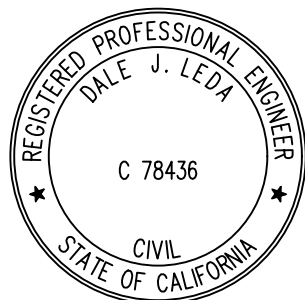
	feet
Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 31.9

DRIVEWAY SIGHT DISTANCE NOTES:

1. DRIVEWAY SIGHT DISTANCE TRIANGLES ARE SHOWN PER MUNICIPAL CODE 27.84.010(B)(2).
2. INTERSECTION SIGHT DISTANCE TRIANGLE IS SHOWN PER MUNICIPAL CODE 27.84.010(B)(1).

FIRE HYDRANT NOTES:

1. ALL FIRE HYDRANTS IN VICINITY OF THE PROJECT SITE SHALL BE UPGRADED TO CLOW MODEL 960 OR APPROVED EQUIVALENT.
2. ONSITE HYDRANT SPACING SHALL BE 250 FT MEASURED ALONG ACCESS ROAD.
3. ALL HYDRANTS SHALL BE CAPABLE OF DELIVERING 1,500 GPM AT 20 PSI RESIDUAL PRESSURE.



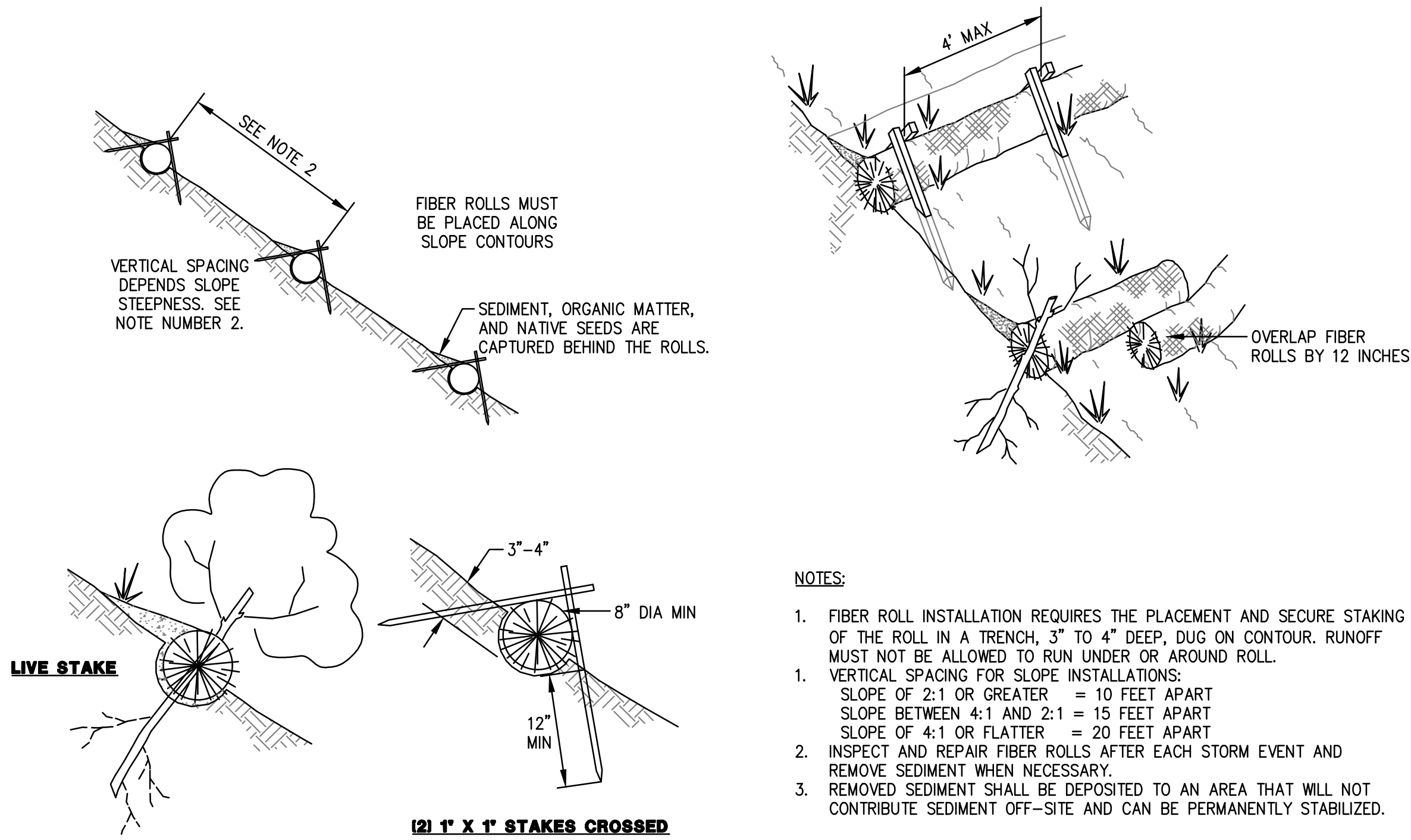
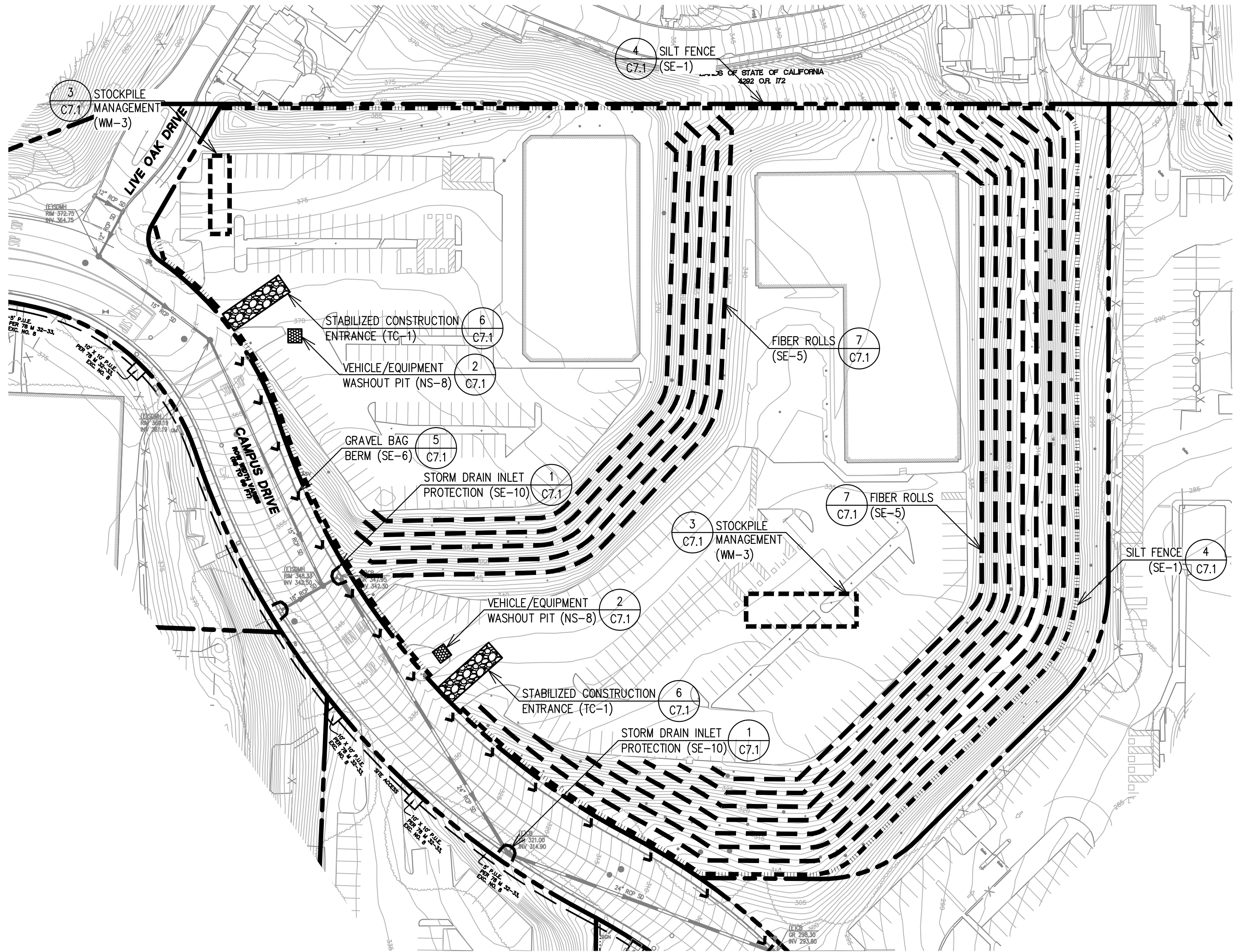
JOB NO. 20180881-10  
DATE 05-19-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com



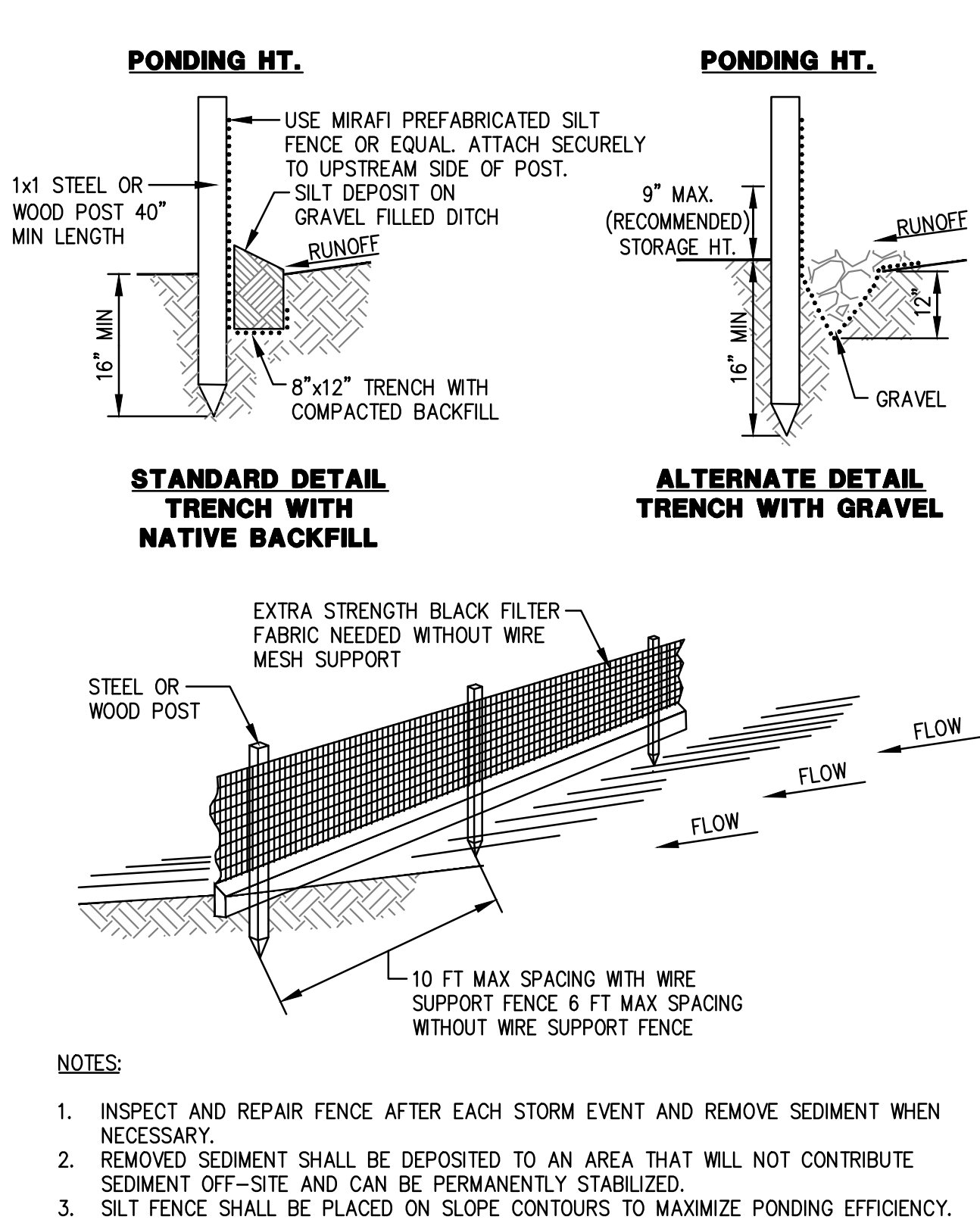
C6.1



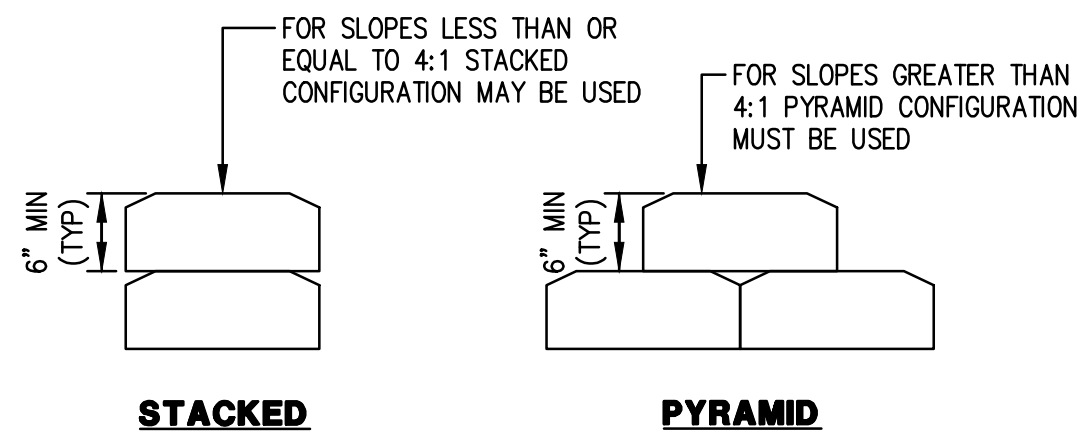
DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort



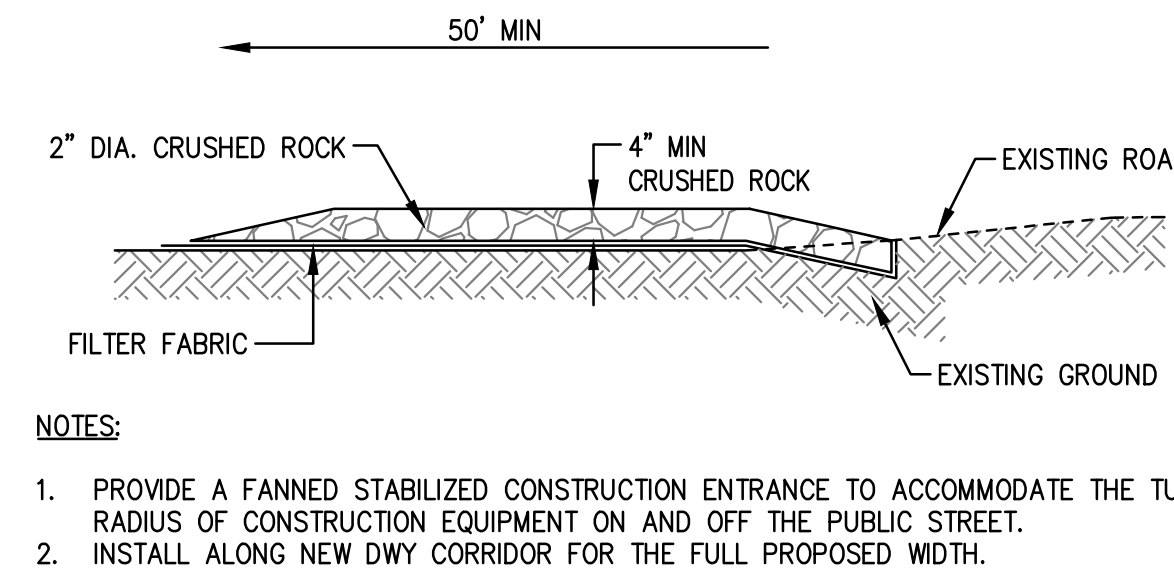
7 FIBER ROLL  
NTS



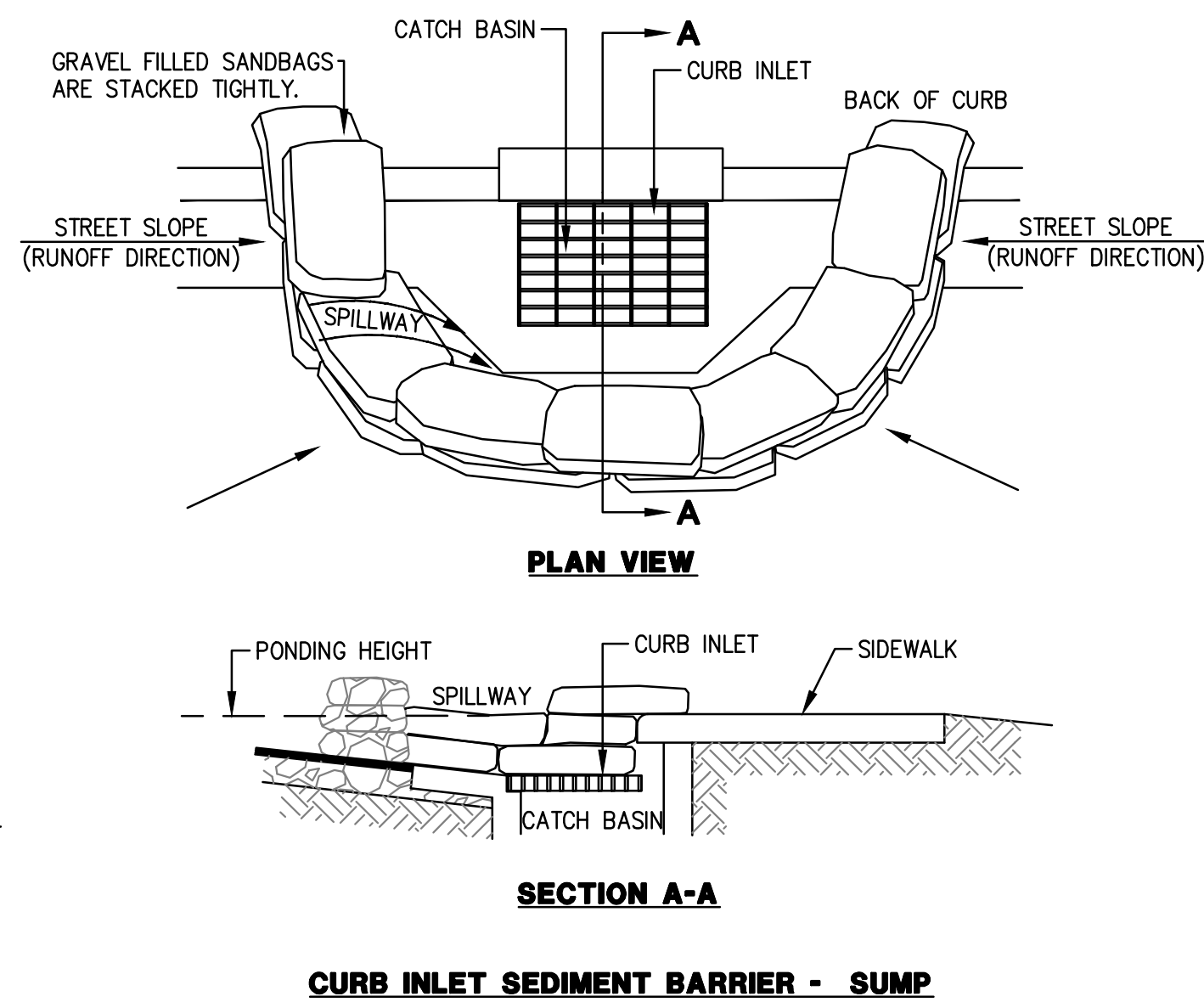
4 SILTS FENCE  
NTS



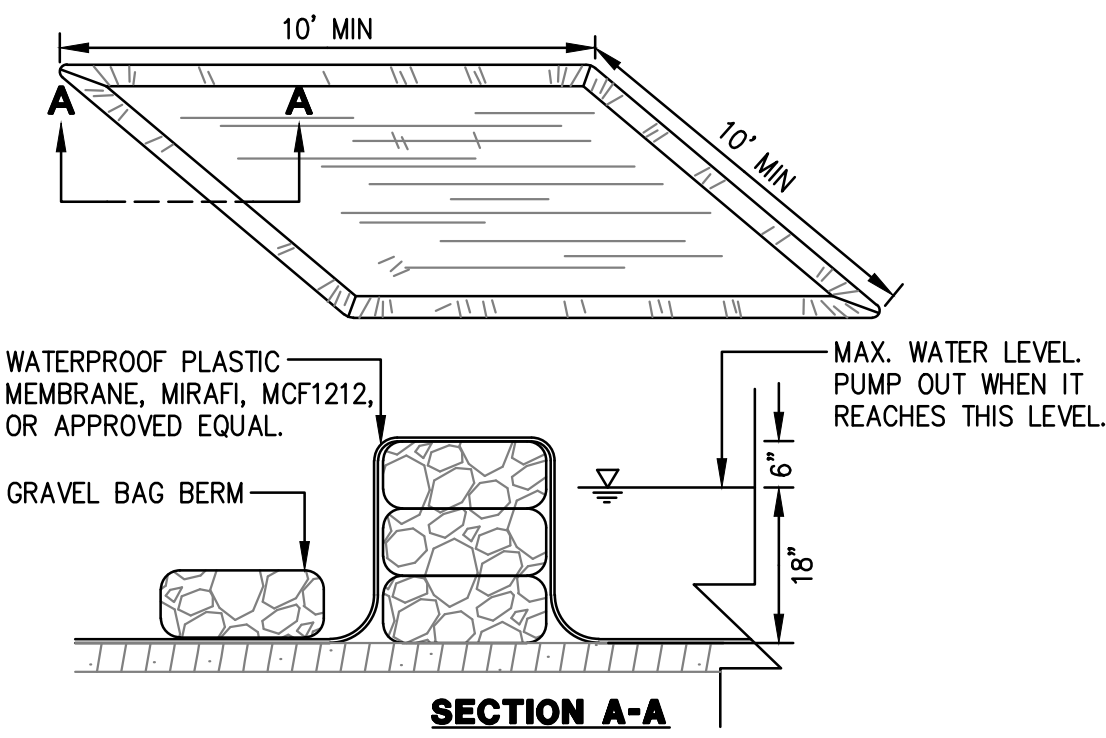
5 GRAVEL BAG BERM  
NTS



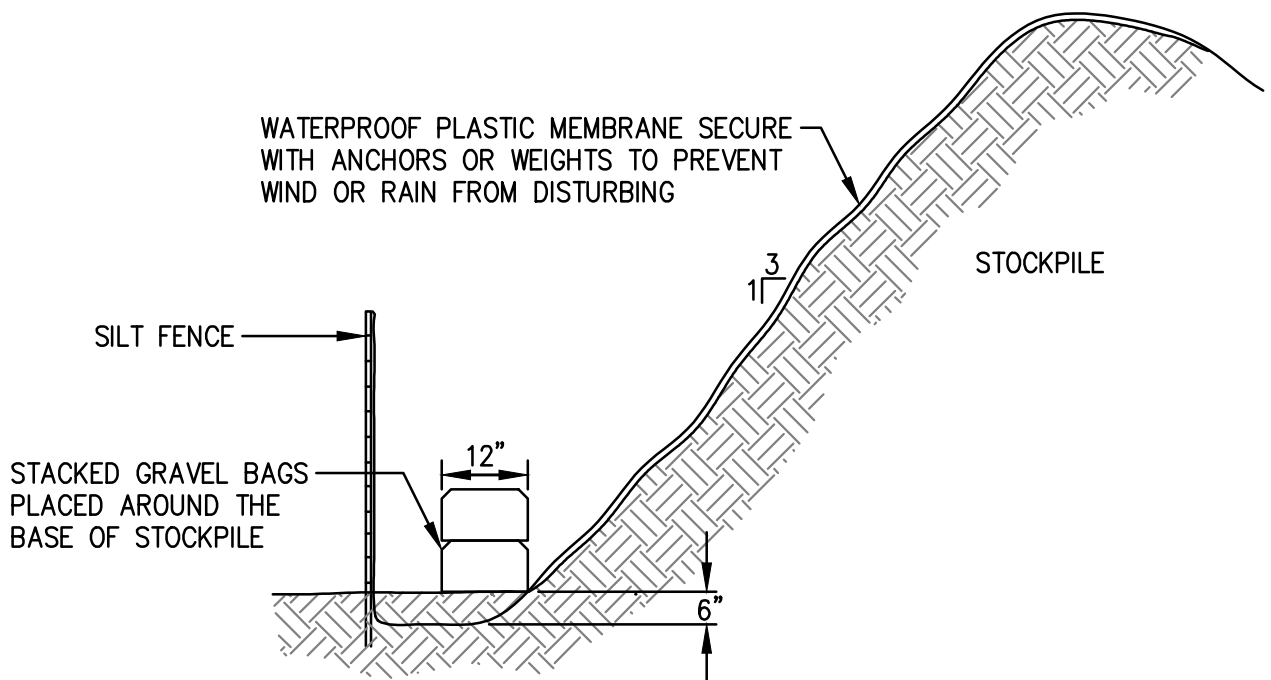
6 STABILIZED CONSTRUCTION ENTRANCE  
NTS



1 INLET PROTECTION  
NTS



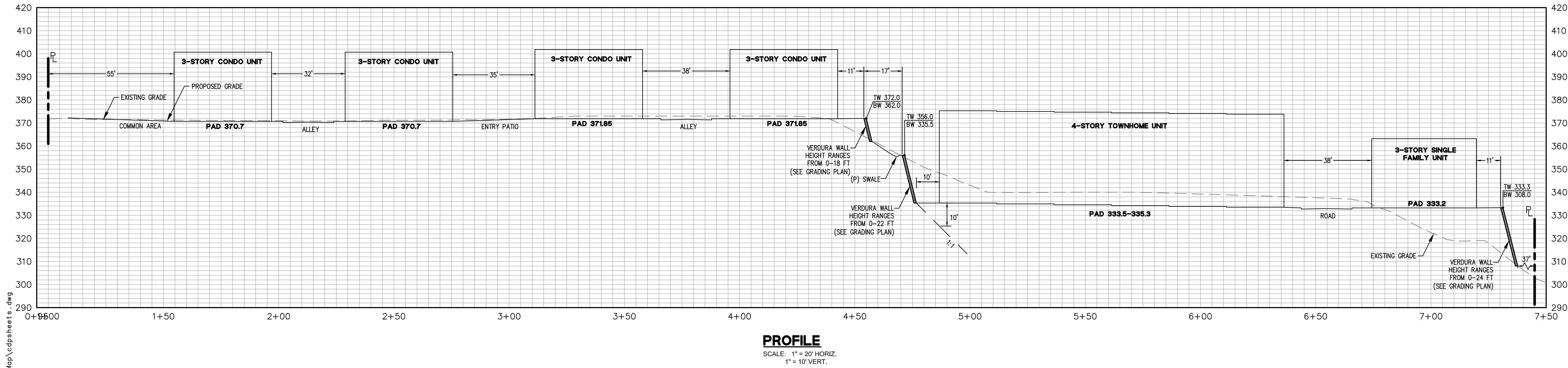
2 VEHICLE/EQUIPMENT WASHOUT PIT  
NTS



3 STOCKPILE COVERING  
NTS



# NORTH LOTS SECTION



DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20  
PLOTTED BY: wort

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

NORTH LOTS SECTION



0204080

NORTH

JOB NO. 20180881-10

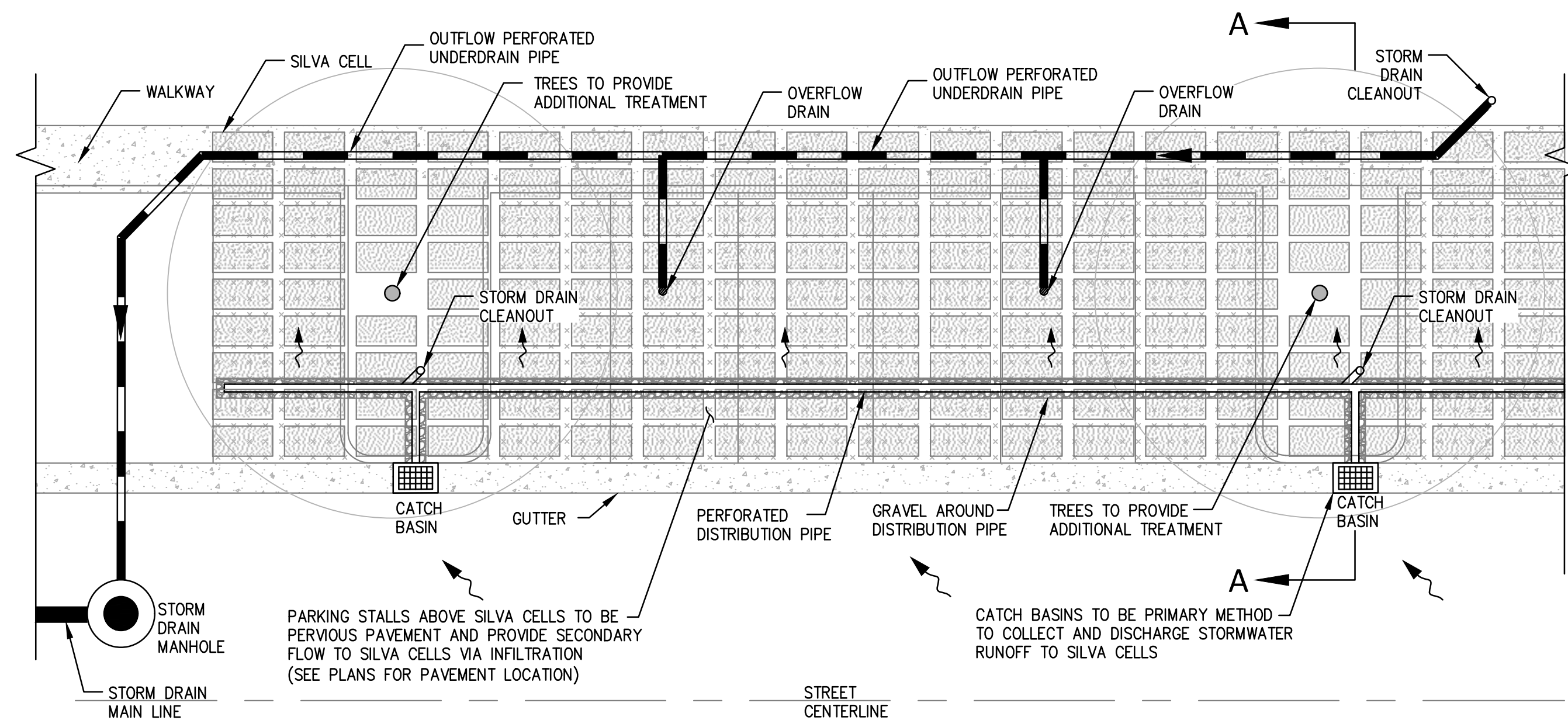
DATE 05-19-2020

255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com

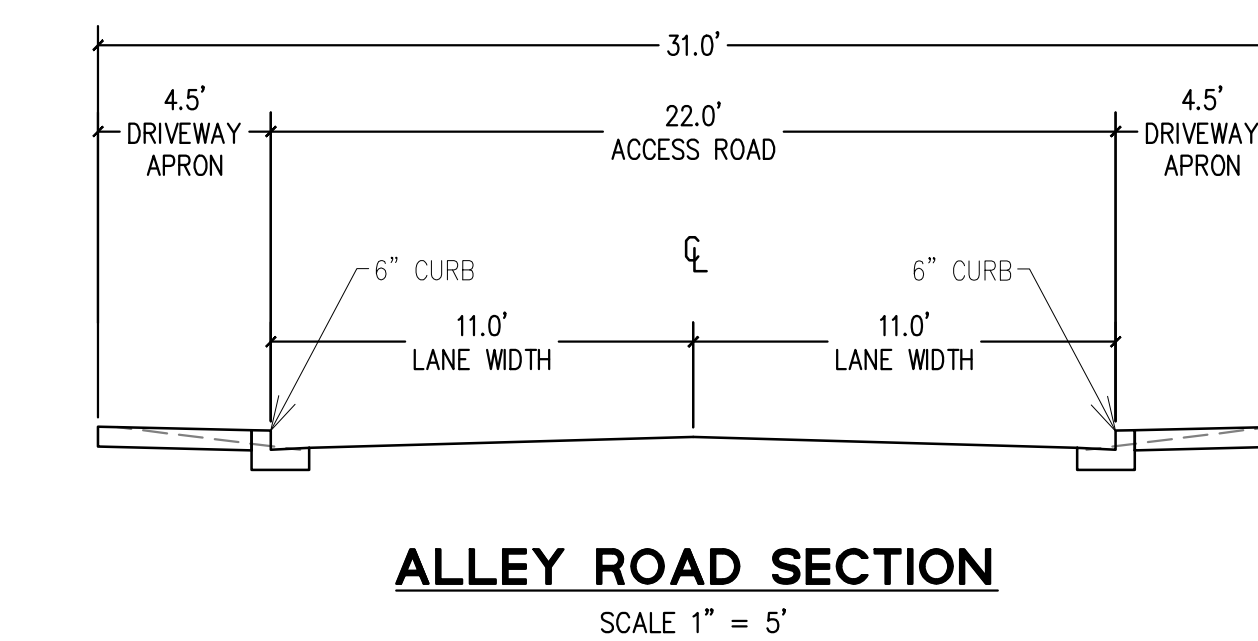
C8.1

REGISTERED PROFESSIONAL ENGINEER  
DALE J. LLOYD  
C 78436  
CIVIL  
STATE OF CALIFORNIA

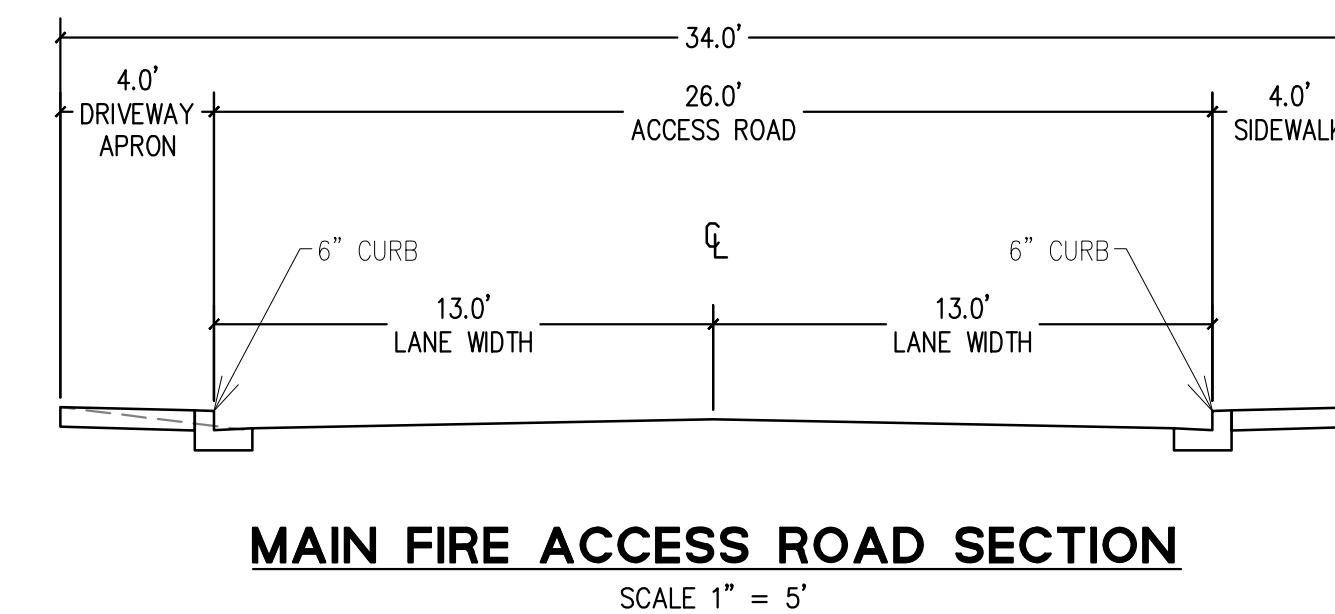




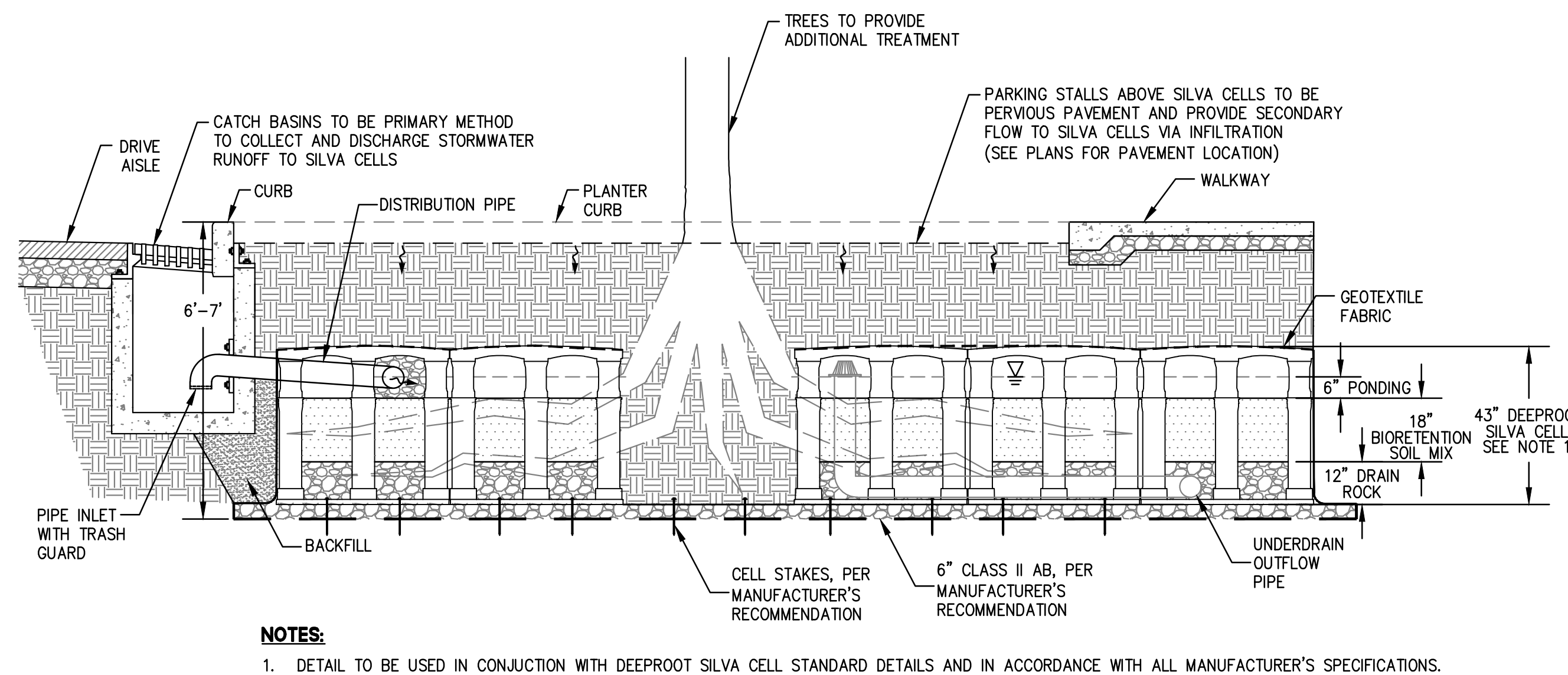
**3**  
—  
**SILVA CELL PLAN VIEW (TYPICAL)**  
NTS



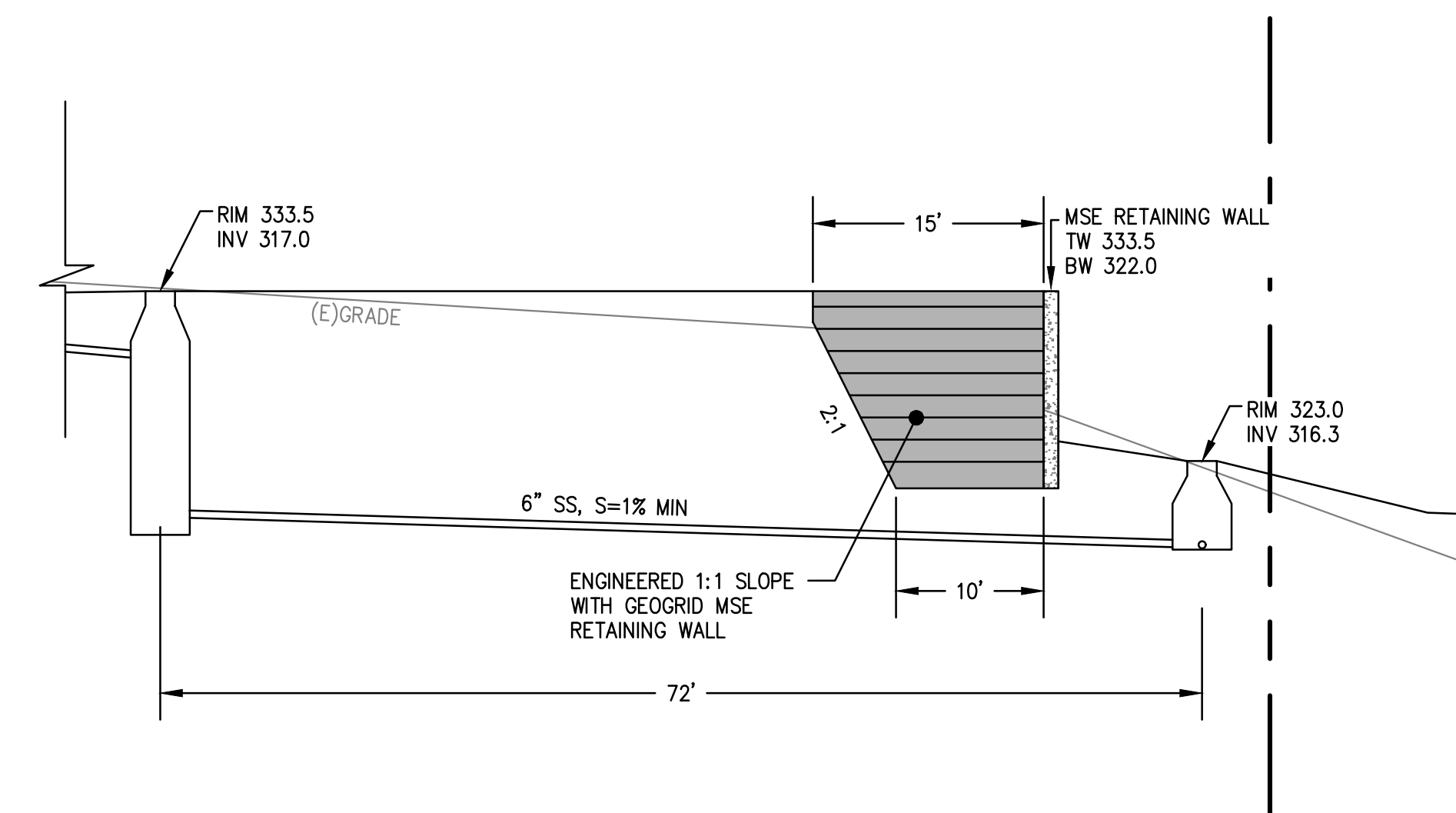
**ALLEY ROAD SECTION**  
SCALE 1" = 5'



**1**  
—  
**ROAD CROSS SECTIONS**  
NTS



**4**  
—  
**SILVA CELL SECTION A-A (TYPICAL)**  
NTS



**2**  
—  
**SANITARY SEWER ROUTING UNDER MSE WALLS**  
1" = 10'

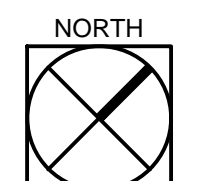
DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort

**PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA**  
**CAMPUS POP INVESTOR, LLC**

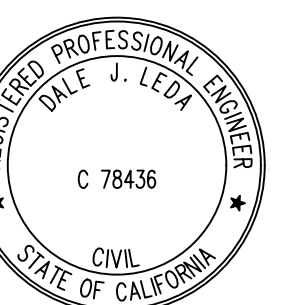
**DETAILS**

**BKF 100+**  
**ENGINEERS . SURVEYORS . PLANNERS**

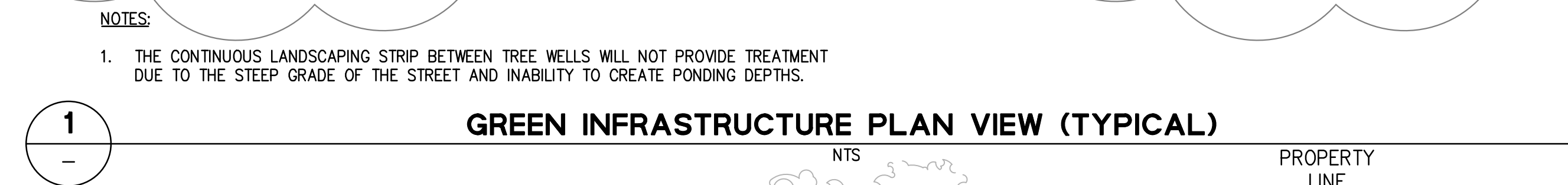
**JOB NO.** 20180881-10  
**DATE** 05-19-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com



**C8.2**

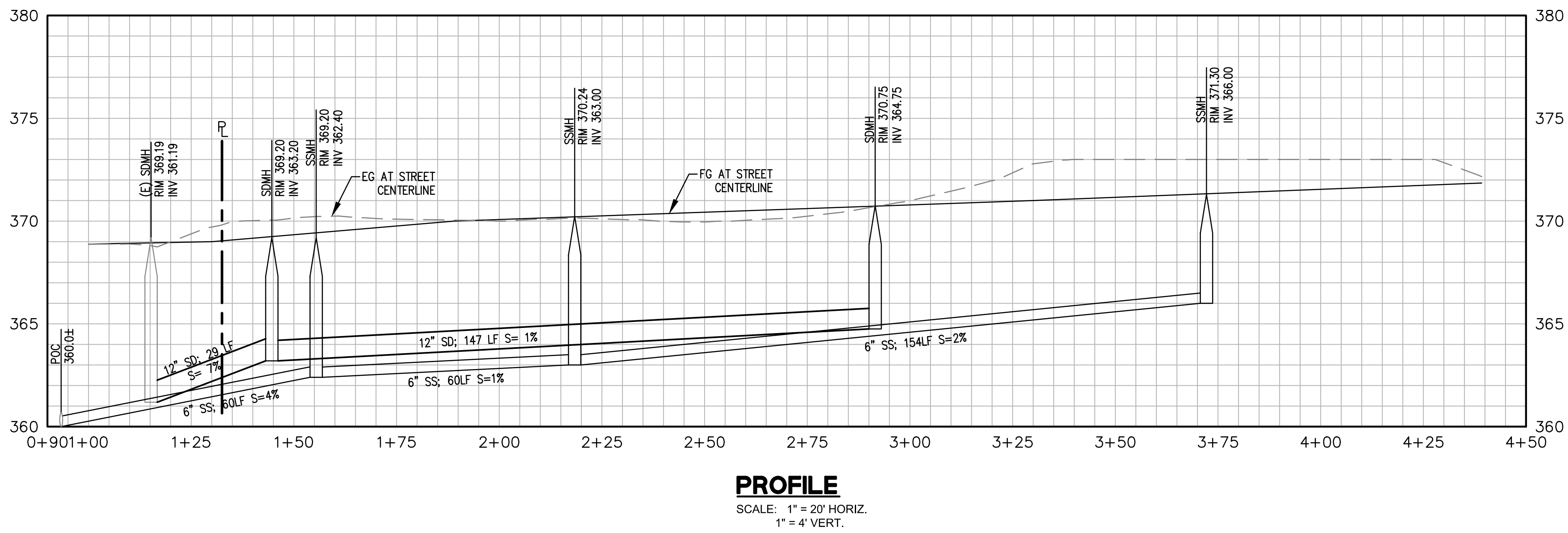




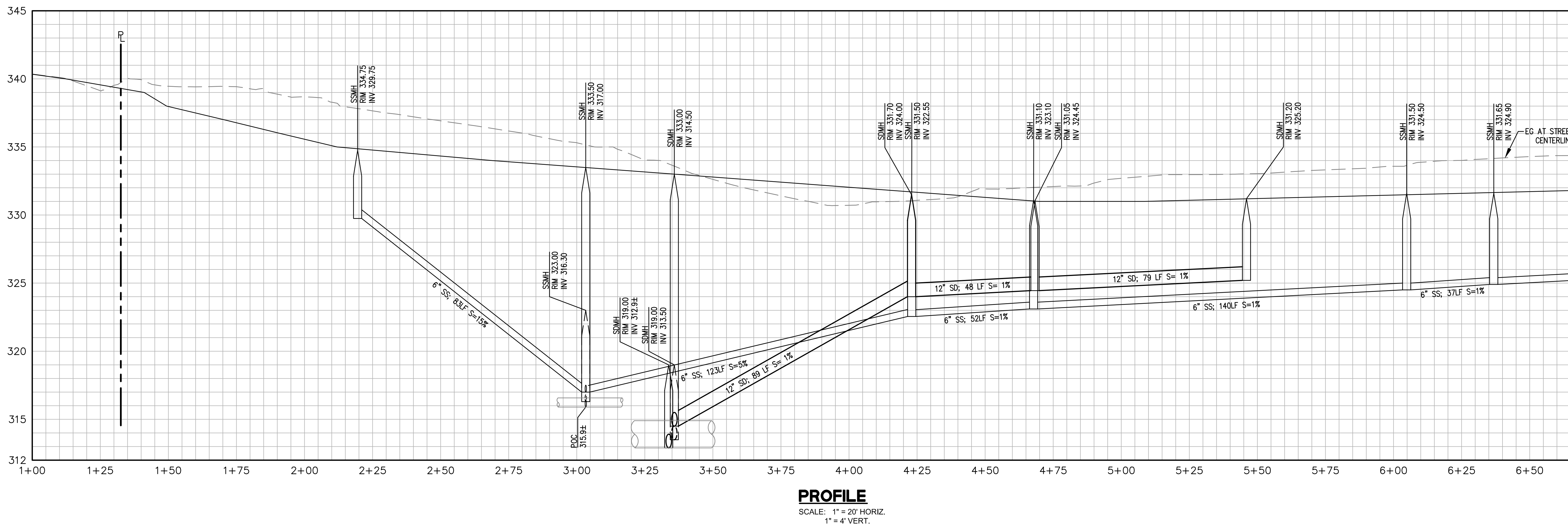




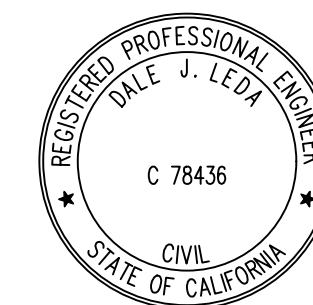
# PRIVATE STREET A



# PRIVATE STREET C



MATCH LINE-SEE SHEET C8.5



C8.4

DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

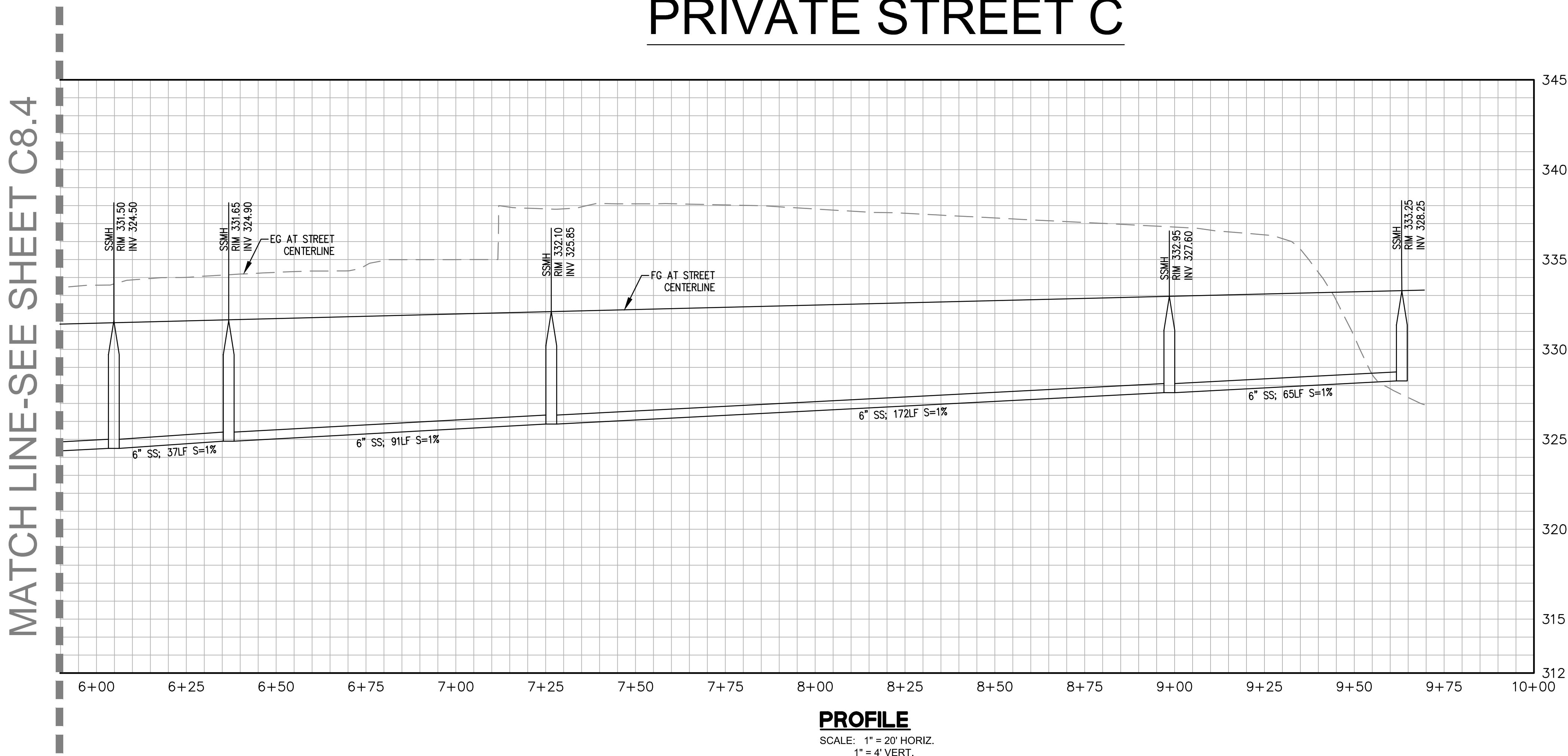
PRIVATE STREETS PROFILE



JOB NO. 20180881-10  
DATE 05-19-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com



PRIVATE STREET C



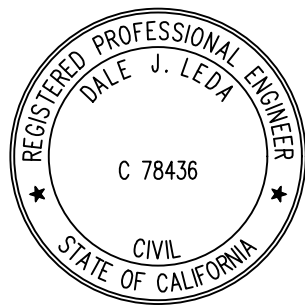
DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

PRIVATE STREETS PROFILE



JOB NO. 20180881-10  
DATE 05-19-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com



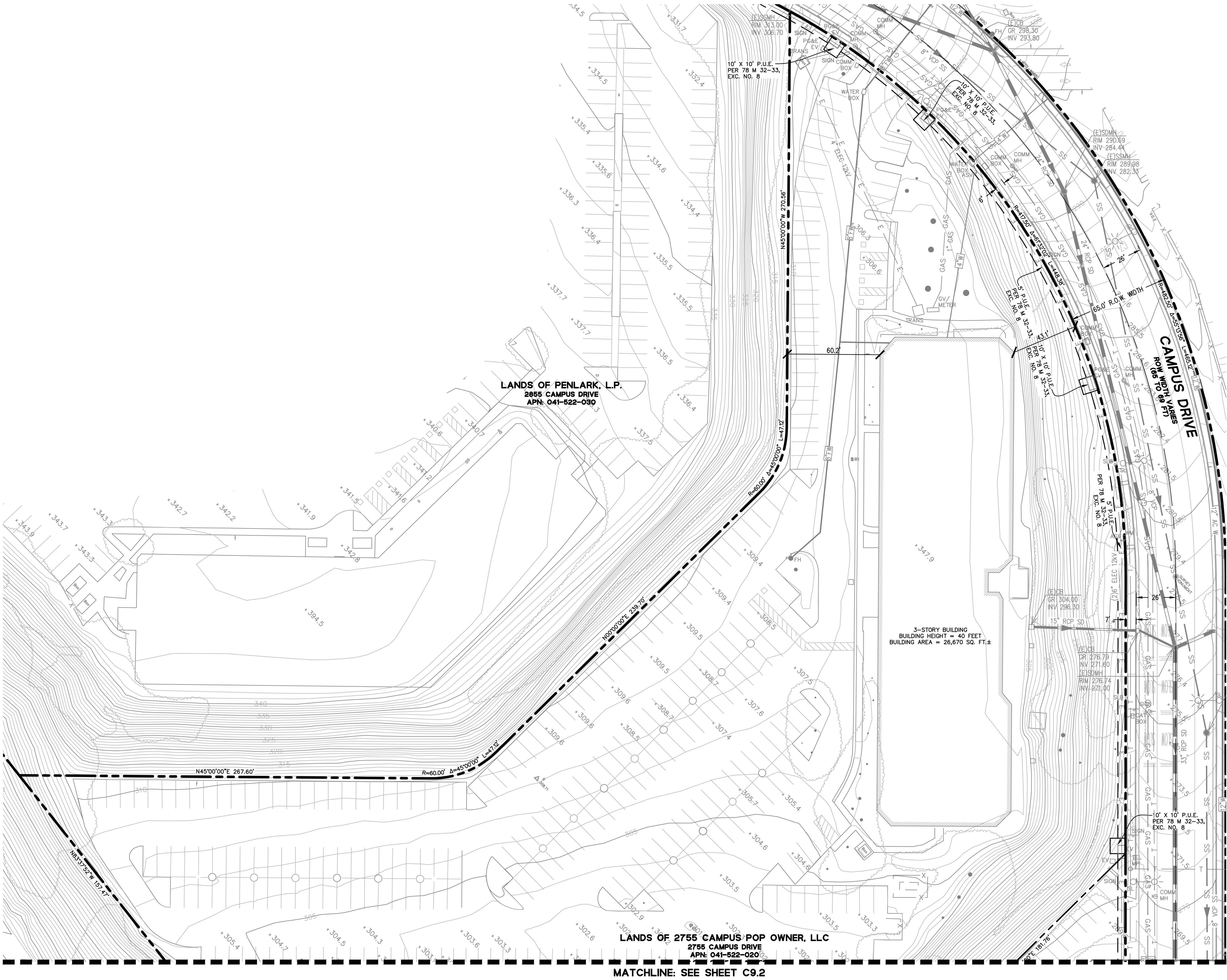
C8.5







DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort



**BASIS OF BEARINGS:**

THE BEARING N03°01'11"E OF THE MONUMENT LINE OF CAMPUS DRIVE, BETWEEN FOUND MONUMENTS, AS SAID BEARING IS SHOWN ON THAT CERTAIN MAP ENTITLED "PENINSULA OFFICE PARK", FILED OCTOBER 2, 1972 IN BOOK 78 OF MAPS AT PAGES 32 AND 33, RECORDS OF SAN MATEO COUNTY, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**MAP NOTES:**

- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- THE DISTINCTIVE BORDER LINE INDICATES THE BOUNDARY OF TITLE REPORT PARCELS.
- THE LOCATION OF UTILITIES SHOWN ON THIS SURVEY ARE DERIVED FROM SURFACE OBSERVATION ONLY AND SHOWN AT GROUND LEVEL LOCATION.
- PARCEL AREAS/ACREAGE INDICATED HEREIN VARY SLIGHTLY FROM THOSE SHOWN IN THE RECORDED MAP REFERENCED ABOVE.

**BENCHMARK:**

THE ELEVATIONS SHOWN ON THIS SURVEY AREA ARE BASED UPON THE SAN MATEO BENCHMARK #047-001.

**LEGEND:**

---	DISTINCTIVE BORDER LINE
---	CENTER LINE
---	EASEMENT LINE
-X-	FENCE LINE
-OH-	OVERHEAD ELECTRIC
-E-	PAINT MARKINGS, "E" - RED PAINT
-CATV-	PAINT MARKINGS, "CATV" - ORANGE PAINT
●	FOUND STREET MONUMENT, AS NOTED
•	FOUND MONUMENT, AS NOTED
⊙	SANITARY SEWER MANHOLE
⊙	STORM DRAIN MANHOLE
*	STREET LIGHT
ASV	ANTI SIPHON VALVE
BNDRY	BOUNDARY
CB	CATCH BASIN
CHD	CORD
CHD BRG	CORD BEARING
EV	ELECTRICAL VAULT
EXC. NO.	TITLE REPORT EXCEPTION NUMBER
HCR	HANDICAPPED RAMP
IN	DISTANCE INSIDE SUBJECT PROPERTY
L.S.E.	LANDSCAPE EASEMENT
M-M	MONUMENT TO MONUMENT DISTANCE
O.R.	OFFICIAL RECORDS
OUT	DISTANCE OUTSIDE SUBJECT PROPERTY
P.U.E.	PUBLIC UTILITY EASEMENT
SLB	STREET LIGHTING BOX
TSB	TRAFFIC SIGNAL BOX
WM	WATER METER
(R)	RADIAL BEARING
( )	RECORD DATA PER 78 MAPS 32-33

**EXISTING TREE NOTES:**

- EXISTING TREES SHOWN AT CHEST HEIGHT.
- SEE LANDSCAPE SHEET L0.2 & L0.3 FOR TREE NUMBERS, TYPES, AND DIAMETERS

**SURVEYOR'S CERTIFICATE**

THE UNDERSIGNED, BEING A LICENSED LAND SURVEYOR OF THE STATE OF CALIFORNIA, CERTIFIES TO:

CORDOVA 83 PROPERTIES, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY;  
USAA REAL ESTATE COMPANY;  
ALLIANCE REALTY PARTNERS, LLC;  
US ALLIANCE HOLDEN OF SAN JOSE, LLC;  
HOLDEN OF SAN JOSE ALLIANCE, LLC;  
US ALLIANCE HOLDEN OF ROSEVILLE, LLC, A DELAWARE LIMITED LIABILITY COMPANY;  
HOLDEN OF ROSEVILLE ALLIANCE, LLC, A DELAWARE LIMITED LIABILITY COMPANY;  
THREE PREMIER SHD LP, A TEXAS LIMITED PARTNERSHIP; AND  
FIRST AMERICAN TITLE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 11, 13, 14, 16, 17, 18, 19 AND 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MARCH 22, 2018.

*John Koroyan*  
JOHN KOROYAN  
P.L.S. NO. 8883  
JKOROYAN@BKF.COM

JULY 5, 2018  
DATED



0 30 60 120  
NORTH  
JOB NO. 20180881-10  
DATE 05-19-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com



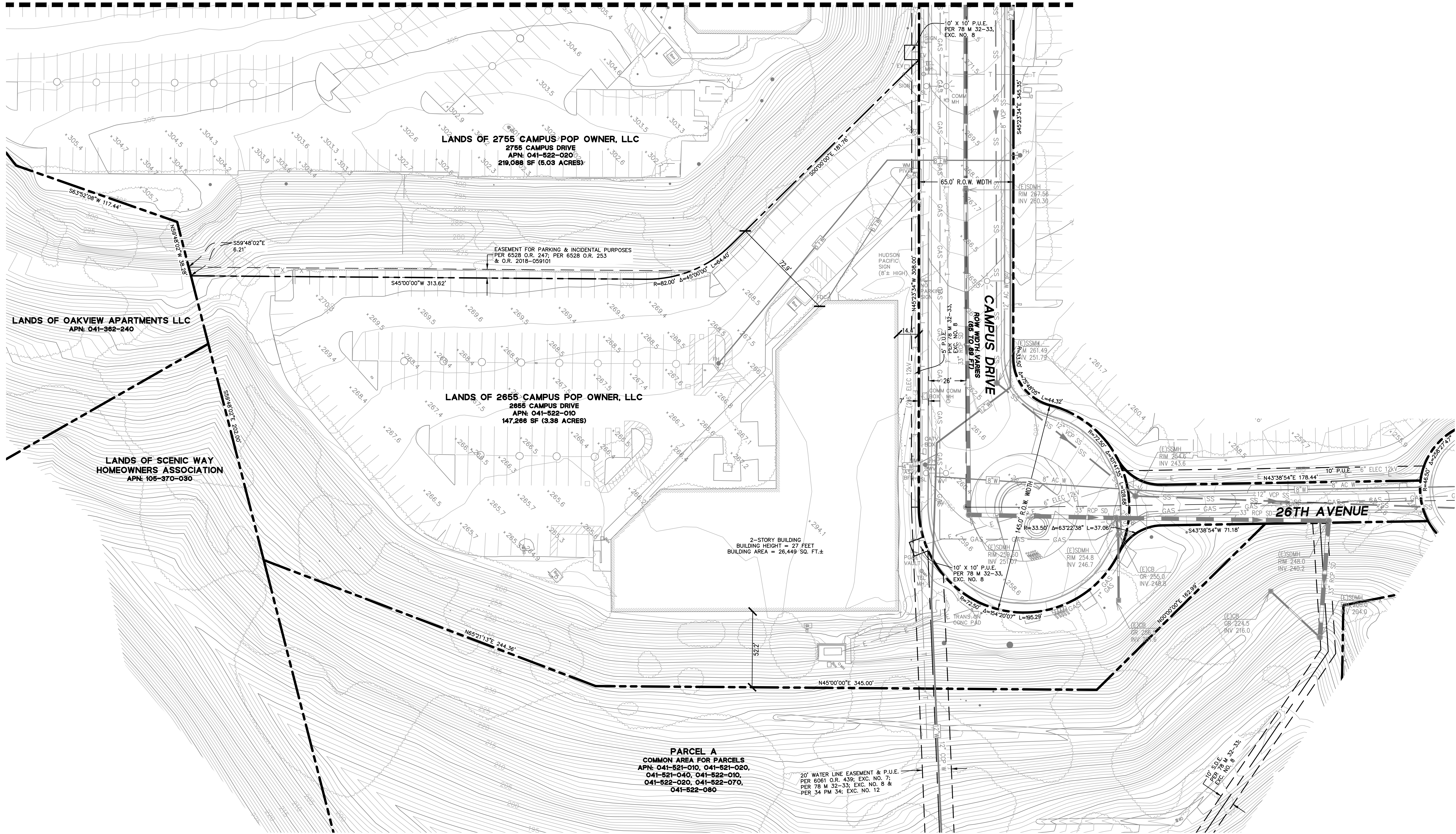
PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

EXISTING CONDITIONS  
SOUTH SITE

C9.1



MATCHLINE: SEE SHEET C9.1



DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

EXISTING CONDITIONS  
SOUTH SITE



0 30 60 120  
NORTH

JOB NO. 20180881-10  
DATE 05-19-2020

255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com

C9.2



PARCEL NOTES:

1. PARCEL 1 THRU 6 ARE DESIGNATED FOR CONDOMINIUM PURPOSES. ALL AREA OUTSIDE FOOTPRINT OF BUILDINGS ARE COMMON AREA. THE PARK AMENITIES AND WALKWAYS DESIGNATED BY PUBLIC ACCESS EASEMENTS ARE FOR PUBLIC USE.
2. PARCELS SFD 1 THROUGH SFD 44 FOR SMALL LOT SINGLE FAMILY DWELLINGS.
3. MINIMUM STRUCTURE SETBACKS FOR SFD LOTS:  
FRONT - 3.5 FEET  
SIDE - 3.0 FEET  
REAR - 4.33 FEET
4. AVERAGE LOT DIMENSIONS FOR SFD LOTS:  
DEPTH - 55.0 FEET  
WIDTH - 29.25 FEET
5. AVERAGE LOT DIMENSIONS FOR PARCELS FOR CONDOMINIUM PURPOSES:  
(SEE SHEET C16.6 FOR AVERAGE LOT DEPTH AND WIDTH CALCULATIONS)
- | PARCEL # | DEPTH (FEET) | WIDTH (FEET) |
|----------|--------------|--------------|
| 1        | 121          | 327          |
| 2        | 204          | 302          |
| 3        | 109          | 225          |
| 4        | 70           | 475          |
| 5        | 150          | 285          |
| 6        | 59           | 158          |

MULTIPLE FINAL MAPS NOTE:

1. MULTIPLE FINAL MAPS: PURSUANT TO CHAPTER 3, ARTICLE 4 SECTION 66456.1 OF THE SUBDIVISION MAP ACT, THE DEVELOPER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS. ONLY THE IMPROVEMENTS REQUIRED TO SUPPORT THE LEVEL OF DEVELOPMENT, AS DETERMINED BY THE CITY, OF EACH PARTICULAR FINAL MAP NEEDS TO BE COMPLETED OR BONDED.

ZONING AND LAND USE:

ZONING: E1 EXECUTIVE OFFICE PARK

GENERAL PLAN LAND USE: EXECUTIVE OFFICE

PROPOSED LAND USE: MULTI FAMILY RESIDENTIAL (PARCELS 1-6)  
SINGLE FAMILY RESIDENTIAL (SFD 1-44)

EASEMENT NOTES:

1. PRIVATE STREET EASEMENT (PRSE) FOR INGRESS/EGRESS, UNDERGROUND UTILITIES, EMERGENCY VEHICLE ACCESS, PEDESTRIAN ACCESS, GUEST PARKING AND LOADING ZONES.
2. COMMON OPEN SPACE EASEMENT (COSE) FOR NON-DEVELOPABLE OPEN SPACE (RETAINING WALLS, ASSOCIATED DRAINAGE AND LANDSCAPING). COMMON OPEN SPACE CANNOT BE SUBDIVIDED OR DEVELOPED IN PERPETUITY.
3. PUBLIC UTILITY EASEMENT (PUE) FOR ALL UNDERGROUND PUBLIC UTILITIES, ASSOCIATED STRUCTURES AND MAINTENANCE ACCESS, SEE UTILITY PLAN FOR UTILITY LOCATIONS. STORM DRAINAGE AND SANITARY SEWER FACILITIES LOCATED WITHIN THE PUE SHALL BE PRIVATELY OWNED AND MAINTAINED.
4. PRIVATE PEDESTRIAN EASEMENT (PPE) FOR PRIVATE PEDESTRIAN ACCESS.
5. PUBLIC ACCESS EASEMENT (PAE) FOR PUBLIC USE OF PARK AMENITIES AND WALKWAYS.
6. AS SPECIFIED IN THE CC&Rs, FOR PARCELS DESIGNATED FOR CONDOMINIUM PURPOSES, ALL AREA OUTSIDE THE FOOTPRINT OF BUILDINGS WILL BE FOR RESIDENT INGRESS/EGRESS.
7. STREETS AND SIDEWALKS WITHIN THE PRIVATE PARCELS SHALL BE PRIVATELY OWNED AND MAINTAINED.

LANDS OF PENLARK, L.P.  
2855 CAMPUS DRIVE  
APN: 041-522-030

VESTING TENTATIVE MAP FOR  
CONDOMINIUM PURPOSES - SOUTH SITE

GENERAL NOTES:

1. DRIVEWAY APPROACHES, CURB RAMPS, SIDEWALK, CURB AND GUTTER SHALL BE CONSTRUCTION PER CITY OF SAN MATEO STANDARDS.

LEGEND:

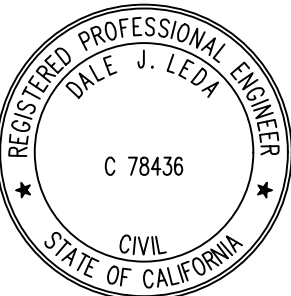
--- PARCEL PROPERTY LINE  
--- EASEMENT LINE  
--- CONDOMINIUM BUILDING OUTLINE

PARCEL	UNIT COUNT	DEVELOPABLE/ NON-DEVELOPABLE	AREA [SF]	AREA [AC]
1	18	DEVELOPABLE	40,369	0.93
2	24	DEVELOPABLE	59,414	1.36
3	16	DEVELOPABLE	33,870	0.78
4	18	DEVELOPABLE	75,508	1.73
5	28	DEVELOPABLE	50,313	1.16
6	8	DEVELOPABLE	33,036	0.76
SFD 1	1	DEVELOPABLE	1,526	0.04
SFD 2	1	DEVELOPABLE	1,609	0.04
SFD 3	1	DEVELOPABLE	1,609	0.04
SFD 4	1	DEVELOPABLE	1,609	0.04
SFD 5	1	DEVELOPABLE	1,604	0.04
SFD 6	1	DEVELOPABLE	1,609	0.04
SFD 7	1	DEVELOPABLE	1,609	0.04
SFD 8	1	DEVELOPABLE	1,623	0.04
SFD 9	1	DEVELOPABLE	1,896	0.04
SFD 10	1	DEVELOPABLE	1,748	0.04
SFD 11	1	DEVELOPABLE	1,613	0.04
SFD 12	1	DEVELOPABLE	1,605	0.04
SFD 13	1	DEVELOPABLE	1,608	0.04
SFD 14	1	DEVELOPABLE	1,609	0.04
SFD 15	1	DEVELOPABLE	1,608	0.04
SFD 16	1	DEVELOPABLE	1,783	0.04
SFD 17	1	DEVELOPABLE	1,629	0.04
SFD 18	1	DEVELOPABLE	1,590	0.04
SFD 19	1	DEVELOPABLE	1,579	0.04
SFD 20	1	DEVELOPABLE	1,585	0.04
SFD 21	1	DEVELOPABLE	1,590	0.04
SFD 22	1	DEVELOPABLE	1,896	0.04
SFD 23	1	DEVELOPABLE	1,870	0.04
SFD 24	1	DEVELOPABLE	1,684	0.04
SFD 25	1	DEVELOPABLE	1,614	0.04
SFD 26	1	DEVELOPABLE	2,004	0.05
SFD 27	1	DEVELOPABLE	2,118	0.05
SFD 28	1	DEVELOPABLE	1,641	0.04
SFD 29	1	DEVELOPABLE	2,004	0.05
SFD 30	1	DEVELOPABLE	1,700	0.04
SFD 31	1	DEVELOPABLE	1,699	0.04
SFD 32	1	DEVELOPABLE	1,569	0.04
SFD 33	1	DEVELOPABLE	1,569	0.04
SFD 34	1	DEVELOPABLE	1,574	0.04
SFD 35	1	DEVELOPABLE	1,627	0.04
SFD 36	1	DEVELOPABLE	1,698	0.04
SFD 37	1	DEVELOPABLE	1,672	0.04
SFD 38	1	DEVELOPABLE	1,663	0.04
SFD 39	1	DEVELOPABLE	1,672	0.04
SFD 40	1	DEVELOPABLE	1,663	0.04
SFD 41	1	DEVELOPABLE	1,672	0.04
SFD 42	1	DEVELOPABLE	1,663	0.04
SFD 43	1	DEVELOPABLE	1,672	0.04
SFD 44	1	DEVELOPABLE	1,659	0.04
TOTAL			366,354	8.41

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC



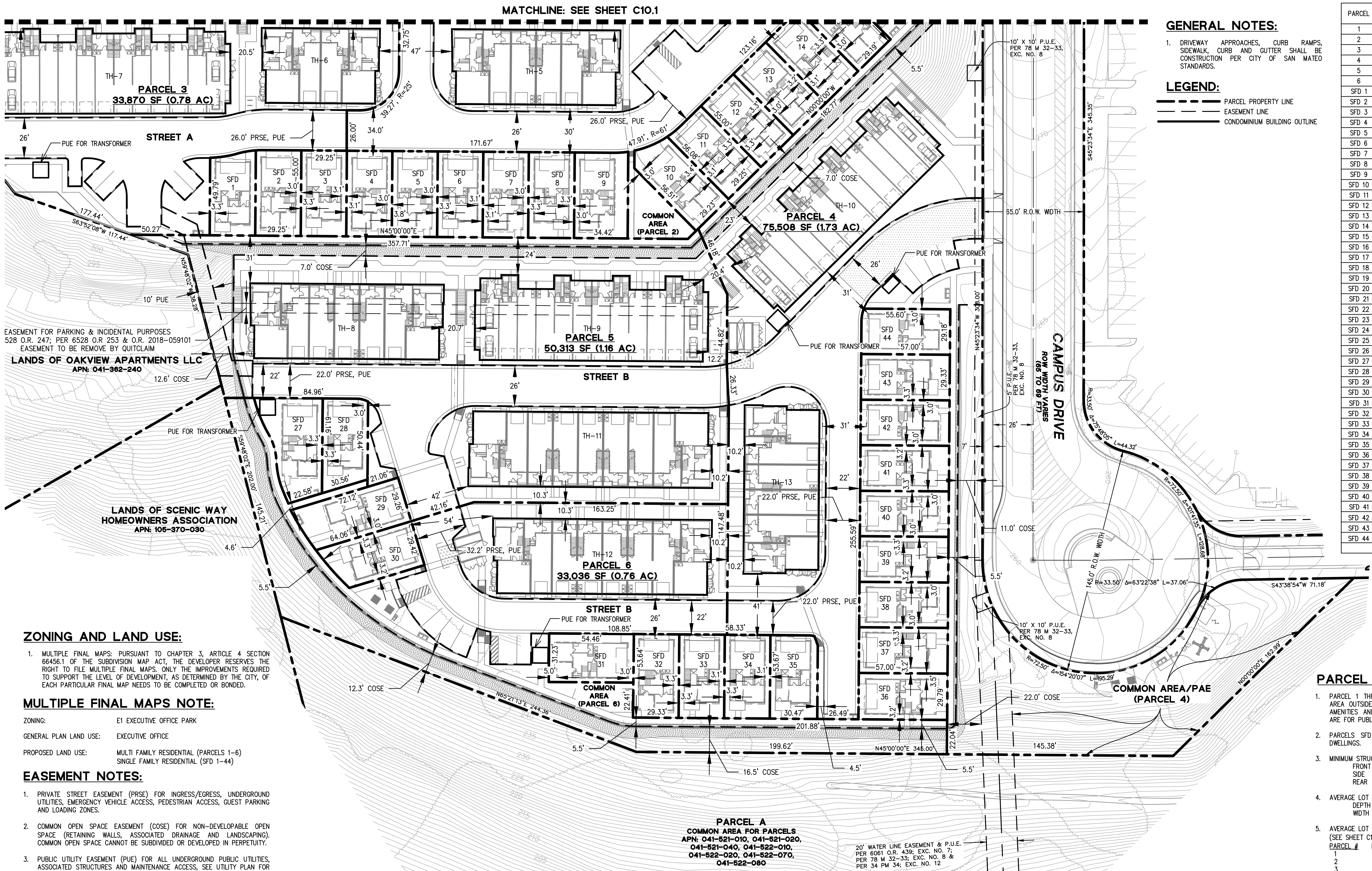
JOB NO. 20180881-10  
DATE 05-19-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com



C10.1



DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20  
PLOTTED BY: wort



### GENERAL NOTES:

1. DRIVEWAY APPROACHES, CURB RAMPS, SIDEWALK, CURB AND GUTTER SHALL BE CONSTRUCTION PER CITY OF SAN MATEO STANDARDS.

### LEGEND:

- PARCEL PROPERTY LINE
- - - EASEMENT LINE
- \_\_\_\_\_ CONDOMINIUM BUILDING OUTLINE

PARCEL	UNIT COUNT	DEVELOPABLE/ NON-DEVELOPABLE	AREA [SF]	AREA [AC]
1	18	DEVELOPABLE	40,369	0.93
2	24	DEVELOPABLE	59,414	1.36
3	16	DEVELOPABLE	33,870	0.78
4	18	DEVELOPABLE	75,508	1.73
5	28	DEVELOPABLE	50,313	1.16
6	8	DEVELOPABLE	33,036	0.76
SFD 1	1	DEVELOPABLE	1,526	0.04
SFD 2	1	DEVELOPABLE	1,609	0.04
SFD 3	1	DEVELOPABLE	1,609	0.04
SFD 4	1	DEVELOPABLE	1,609	0.04
SFD 5	1	DEVELOPABLE	1,609	0.04
SFD 6	1	DEVELOPABLE	1,609	0.04
SFD 7	1	DEVELOPABLE	1,609	0.04
SFD 8	1	DEVELOPABLE	1,623	0.04
SFD 9	1	DEVELOPABLE	1,896	0.04
SFD 10	1	DEVELOPABLE	1,748	0.04
SFD 11	1	DEVELOPABLE	1,613	0.04
SFD 12	1	DEVELOPABLE	1,605	0.04
SFD 13	1	DEVELOPABLE	1,608	0.04
SFD 14	1	DEVELOPABLE	1,609	0.04
SFD 15	1	DEVELOPABLE	1,608	0.04
SFD 16	1	DEVELOPABLE	1,783	0.04
SFD 17	1	DEVELOPABLE	1,629	0.04
SFD 18	1	DEVELOPABLE	1,590	0.04
SFD 19	1	DEVELOPABLE	1,579	0.04
SFD 20	1	DEVELOPABLE	1,585	0.04
SFD 21	1	DEVELOPABLE	1,590	0.04
SFD 22	1	DEVELOPABLE	1,896	0.04
SFD 23	1	DEVELOPABLE	1,670	0.04
SFD 24	1	DEVELOPABLE	1,684	0.04
SFD 25	1	DEVELOPABLE	1,614	0.04
SFD 26	1	DEVELOPABLE	2,004	0.05
SFD 27	1	DEVELOPABLE	2,118	0.05
SFD 28	1	DEVELOPABLE	1,641	0.04
SFD 29	1	DEVELOPABLE	2,004	0.05
SFD 30	1	DEVELOPABLE	1,700	0.04
SFD 31	1	DEVELOPABLE	1,699	0.04
SFD 32	1	DEVELOPABLE	1,569	0.04
SFD 33	1	DEVELOPABLE	1,569	0.04
SFD 34	1	DEVELOPABLE	1,574	0.04
SFD 35	1	DEVELOPABLE	1,627	0.04
SFD 36	1	DEVELOPABLE	1,698	0.04
SFD 37	1	DEVELOPABLE	1,672	0.04
SFD 38	1	DEVELOPABLE	1,663	0.04
SFD 39	1	DEVELOPABLE	1,672	0.04
SFD 40	1	DEVELOPABLE	1,663	0.04
SFD 41	1	DEVELOPABLE	1,672	0.04
SFD 42	1	DEVELOPABLE	1,663	0.04
SFD 43	1	DEVELOPABLE	1,672	0.04
SFD 44	1	DEVELOPABLE	1,659	0.04
TOTAL			366,354	8.41

### ZONING AND LAND USE:

1. MULTIPLE FINAL MAPS: PURSUANT TO CHAPTER 3, ARTICLE 4 SECTION 66456.1 OF THE SUBDIVISION MAP ACT, THE DEVELOPER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS. ONLY THE IMPROVEMENTS REQUIRED TO SUPPORT THE LEVEL OF DEVELOPMENT, AS DETERMINED BY THE CITY, OF EACH PARTICULAR FINAL MAP NEEDS TO BE COMPLETED OR BONDED.

### MULTIPLE FINAL MAPS NOTE:

- ZONING: E1 EXECUTIVE OFFICE PARK  
GENERAL PLAN LAND USE: EXECUTIVE OFFICE  
PROPOSED LAND USE: MULTI FAMILY RESIDENTIAL (PARCELS 1-6)  
SINGLE FAMILY RESIDENTIAL (SFD 1-44)

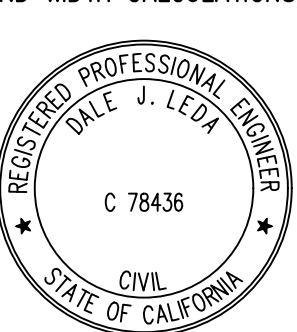
### EASEMENT NOTES:

1. PRIVATE STREET EASEMENT (PRSE) FOR INGRESS/EGRESS, UNDERGROUND UTILITIES, EMERGENCY VEHICLE ACCESS, PEDESTRIAN ACCESS, GUEST PARKING AND LOADING ZONES.
2. COMMON OPEN SPACE EASEMENT (COSE) FOR NON-DEVELOPABLE OPEN SPACE (RETAINING WALLS, ASSOCIATED DRAINAGE AND LANDSCAPING). COMMON OPEN SPACE CANNOT BE SUBDIVIDED OR DEVELOPED IN PERPETUITY.
3. PUBLIC UTILITY EASEMENT (PUE) FOR ALL UNDERGROUND PUBLIC UTILITIES, ASSOCIATED STRUCTURES AND MAINTENANCE ACCESS, SEE UTILITY PLAN FOR UTILITY LOCATIONS. STORM DRAINAGE AND SANITARY SEWER FACILITIES LOCATED WITHIN THE PUE SHALL BE PRIVATELY OWNED AND MAINTAINED.
4. PRIVATE PEDESTRIAN EASEMENT (PPE) FOR PRIVATE PEDESTRIAN ACCESS.
5. PUBLIC ACCESS EASEMENT (PAE) FOR PUBLIC USE OF PARK AMENITIES AND WALKWAYS.
6. AS SPECIFIED IN THE CC&Rs, FOR PARCELS DESIGNATED FOR CONDOMINIUM PURPOSES, ALL AREA OUTSIDE THE FOOTPRINT OF BUILDINGS WILL BE FOR RESIDENT INGRESS/EGRESS.
7. STREETS AND SIDEWALKS WITHIN THE PRIVATE PARCELS SHALL BE PRIVATELY OWNED AND MAINTAINED.

### PARCEL NOTES:

1. PARCEL 1 THRU 6 ARE DESIGNATED FOR CONDOMINIUM PURPOSES. ALL AREA OUTSIDE FOOTPRINT OF BUILDINGS ARE COMMON AREA. THE PARK AMENITIES AND WALKWAYS DESIGNATED BY PUBLIC ACCESS EASEMENTS ARE FOR PUBLIC USE.
2. PARCELS SFD 1 THROUGH SFD 44 FOR SMALL LOT SINGLE FAMILY DWELLINGS.
3. MINIMUM STRUCTURE SETBACKS FOR SFD LOTS:  
FRONT - 3.5 FEET  
SIDE - 3.0 FEET  
REAR - 4.33 FEET
4. AVERAGE LOT DIMENSIONS FOR SFD LOTS:  
DEPTH - 55.0 FEET  
WIDTH - 29.25 FEET
5. AVERAGE LOT DIMENSIONS FOR PARCELS FOR CONDOMINIUM PURPOSES: (SEE SHEET C10.6 FOR AVERAGE LOT DEPTH AND WIDTH CALCULATIONS)

PARCEL #	DEPTH (FEET)	WIDTH (FEET)
1	121	327
2	204	302
3	109	225
4	70	475
5	150	285
6	59	158



JOB NO. 20180881-10  
DATE 05-19-2020

255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com



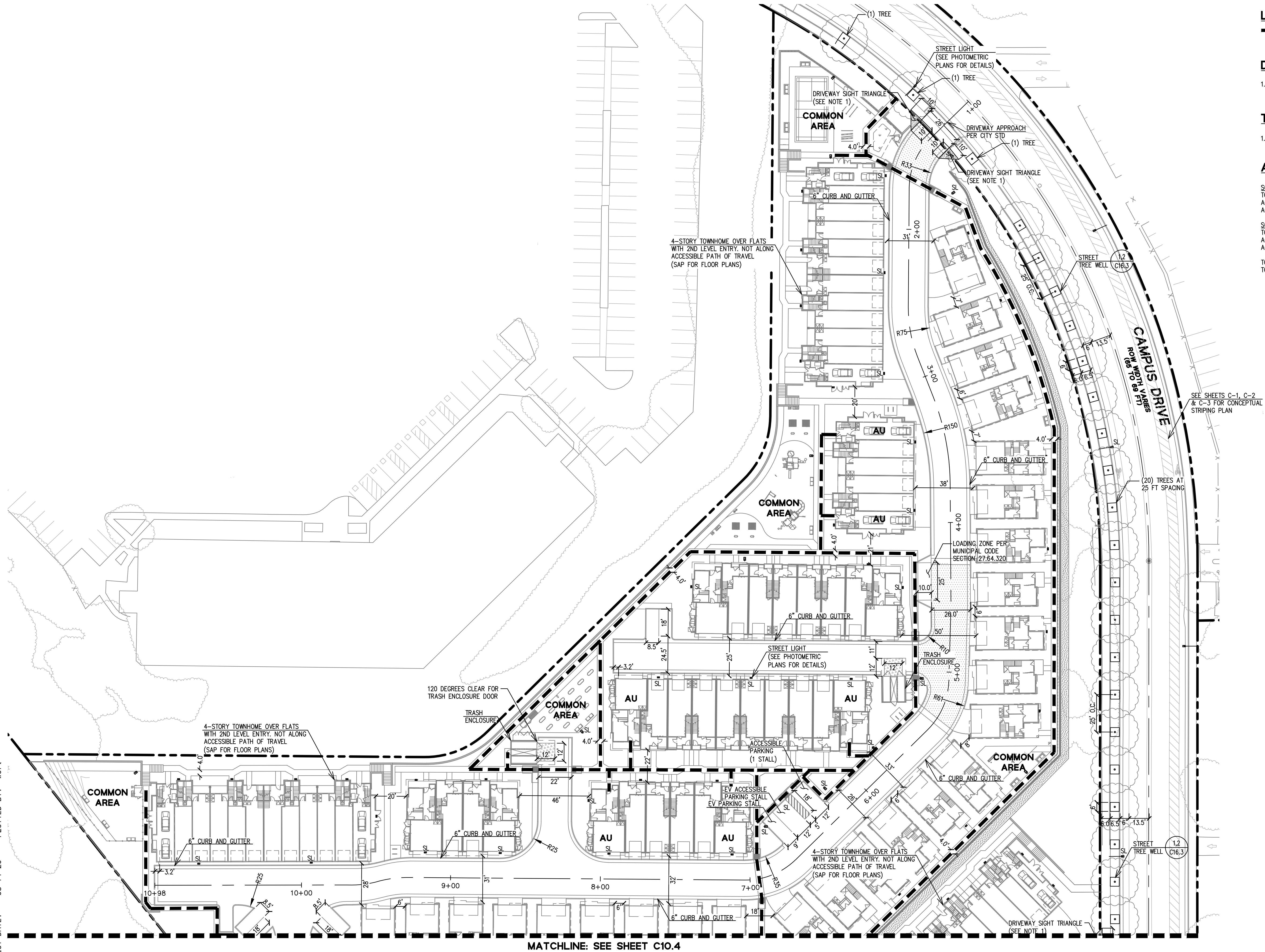
C10.2

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

VESTING TENTATIVE MAP FOR  
CONDOMINIUM PURPOSES - SOUTH SITE



DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort



**LEGEND:**

- ACCESSIBLE PATH OF TRAVEL
- STREET LIGHT, SEE PHOTOMETRIC PLANS
- AU ACCESSIBLE UNIT

**DRIVEWAY SIGHT DISTANCE NOTES:**

1. DRIVEWAY SIGHT DISTANCE TRIANGLES ARE SHOWN PER MUNICIPAL CODE 27.84.010(B)(2).

**TRASH ENCLOSURE NOTES:**

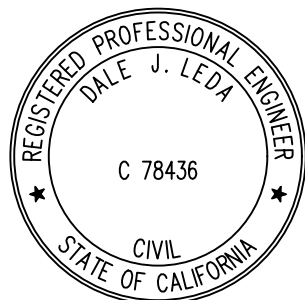
1. TRASH ENCLOSURE DOORS TO SWING 180 DEGREES EXCEPT WHERE NOTED ON PLANS DUE TO SITE CONDITIONS.

**ACCESSIBILITY SUMMARY:**

SOUTH SITE UPPER TERRACE  
TOTAL MULTI-FAMILY UNITS: 58  
ACCESSIBLE UNITS REQUIRED: 6  
ACCESSIBLE UNITS PROVIDED: 6

SOUTH SITE LOWER TERRACE  
TOTAL MULTI-FAMILY UNITS: 54  
ACCESSIBLE UNITS REQUIRED: 6  
ACCESSIBLE UNITS PROVIDED: 6

TOTAL MULTI FAMILY UNITS: 112  
TOTAL ACCESSIBLE UNITS PROVIDED: 12



JOB NO. 20180881-10  
DATE 05-19-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com

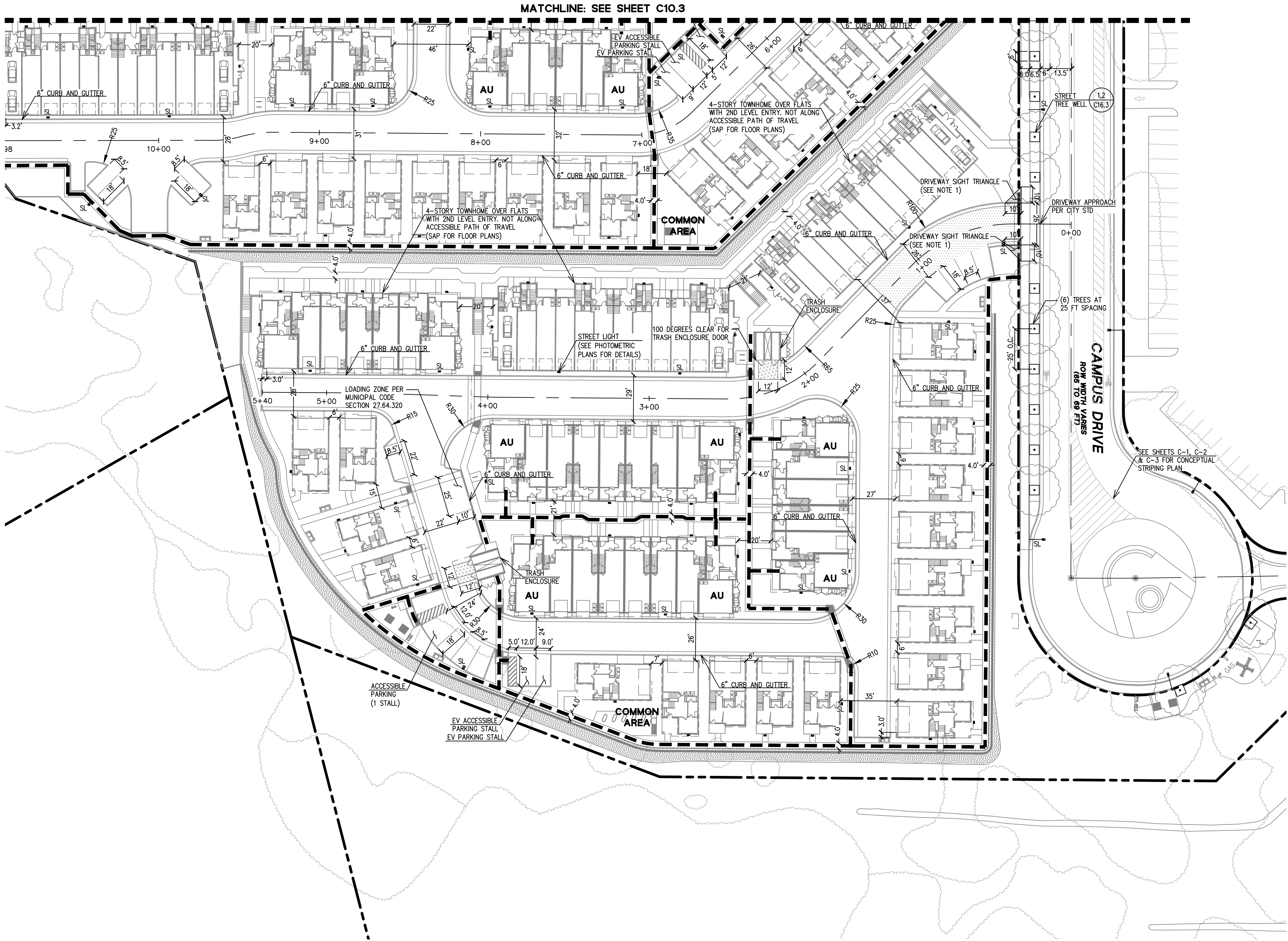


**C10.3**

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

SITE ACCESS PLAN  
SOUTH SITE





- LEGEND:**
- ACCESSIBLE PATH OF TRAVEL
  - SL STREET LIGHT, SEE PHOTOMETRIC PLANS
  - AU ACCESSIBLE UNIT
- DRIVEWAY SIGHT DISTANCE NOTES:**
1. DRIVEWAY SIGHT DISTANCE TRIANGLES ARE SHOWN PER MUNICIPAL CODE 27.84.01(B)(2).
- TRASH ENCLOSURE NOTES:**
1. TRASH ENCLOSURE DOORS TO SWING 180 DEGREES EXCEPT WHERE NOTED ON PLANS DUE TO SITE CONDITIONS.
- ACCESSIBILITY SUMMARY:**
- |                                            |    |
|--------------------------------------------|----|
| <b>SOUTH SITE UPPER TERRACE</b>            |    |
| TOTAL MULTI-FAMILY UNITS:                  | 58 |
| ACCESSIBLE UNITS REQUIRED:                 | 6  |
| ACCESSIBLE UNITS PROVIDED:                 | 6  |
| <b>SOUTH SITE LOWER TERRACE</b>            |    |
| TOTAL MULTI-FAMILY UNITS:                  | 54 |
| ACCESSIBLE UNITS REQUIRED:                 | 6  |
| ACCESSIBLE UNITS PROVIDED:                 | 6  |
| <b>TOTAL MULTI-FAMILY UNITS:</b> 112       |    |
| <b>TOTAL ACCESSIBLE UNITS PROVIDED:</b> 12 |    |

DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

SITE ACCESS PLAN  
SOUTH SITE

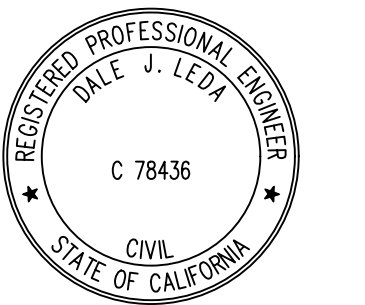


0 30 60 120 NORTH

JOB NO. 20180881-10  
DATE 05-19-2020

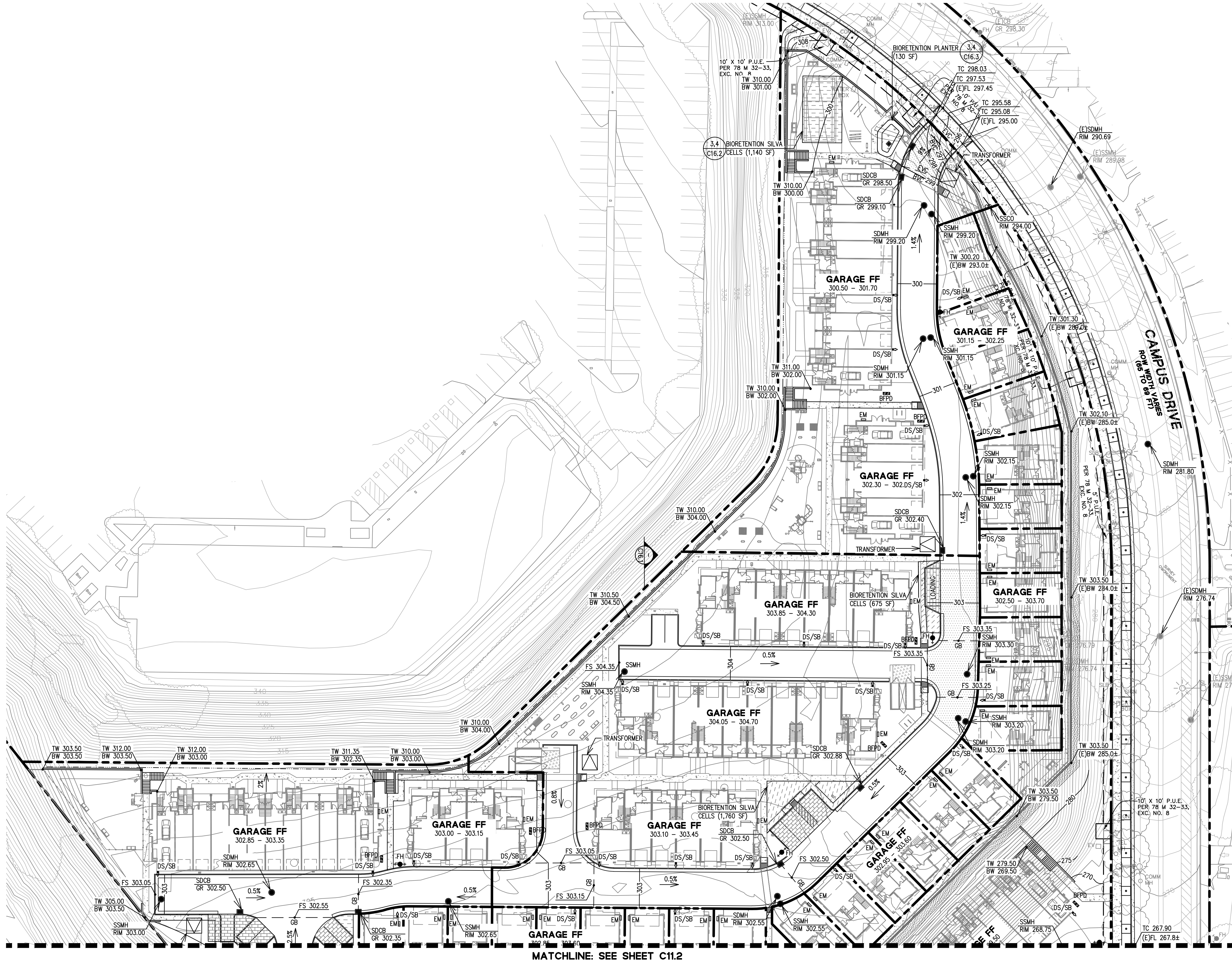
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com

**C10.4**





DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort



**GRADING NOTES:**

1. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT 5% FOR A DISTANCE OF 10', WHERE POSSIBLE, UNLESS OTHERWISE NOTED ON THE PLANS. SLOPE PORCHES, LANDINGS AND TERRACES 2% (1/4" PER FOOT) AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED ON PLANS.
2. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS.
3. CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY, THE GEOTECHNICAL INVESTIGATION AND THE PROPOSED SURFACE THICKNESS AND BASE THE BID ACCORDINGLY. IT IS THE CONTRACTORS RESPONSIBILITY TO CONFIRM IF A SEPARATE DEMOLITION CONTRACT HAS BEEN ISSUED TO TAKE THE SITE FROM THE WAY IT IS AT THE TIME OF THE BID TO THE CONDITIONS DESCRIBED IN THESE DOCUMENTS. ANY DIFFERENCES BETWEEN THE STATE IN WHICH THE SITE IS DELIVERED TO THE CONTRACTOR AND THESE DOCUMENTS SHOULD BE NOTED TO THE ENGINEER/ARCHITECT.
4. ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE CLIENT'S GEOTECHNICAL ENGINEER TO TAKE THE APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.
5. IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.
6. DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER/ARCHITECT.
7. ROUGH GRADING TO BE WITHIN 0.1' AND FINISH GRADES ARE TO BE WITHIN 0.05', HOWEVER CONTRACTOR SHALL NOT CONSTRUCT ANY IMPROVEMENTS THAT WILL CAUSE WATER TO POND OR NOT MEET REQUIREMENTS IN GRADING NOTE #1.
8. THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS, AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTORS SHALL BE REQUIRED TO DO CORRECTIVE GRADING, AT NO EXTRA COST TO THE CLIENT.
9. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND CIVIL ENGINEER IN WRITING PRIOR TO START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
10. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
11. DISTURBED AREAS OF THE SITE SHOULD BE STABILIZED DURING THE RAINY SEASON USING STRAW MULCH (EC-6) OR WOOD MULCHING (EC-8).
12. PERMANENT EROSION CONTROL SHALL BE PROVIDED BY LANDSCAPING SUCH AS SHRUBS, SOD OR MULCH. LANDSCAPE DESIGN MAY BE SUBJECT TO CHANGE.

**HATCH LEGEND:**

- |  |                                   |  |                              |
|--|-----------------------------------|--|------------------------------|
|  | CONCRETE SIDEWALK                 |  | CONCRETE TRASH ENCLOSURE PAD |
|  | BIORETENTION - CONVENTIONAL       |  |                              |
|  | BIORETENTION - SILVA CELL         |  |                              |
|  | PERMEABLE PAVING WITH SILVA CELLS |  |                              |

**TREE REMOVAL NOTE:**

1. SEE LANDSCAPE SHEET L0.2 & L0.3 FOR TREES TO BE REMOVED

**EARTHWORK QUANTITIES - SOUTH SITE**

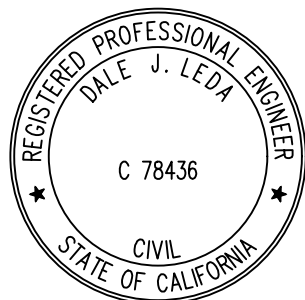
GREATEST SLOPE ON SITE WHERE DEVELOPMENT OCCURS: 50%  
GRADING OCCURS IN SLOPE SETBACK PER SMMC 27.40.030(C): YES

GROSS FIGURES	
CUT	31,000 CUBIC YARDS
FILL	21,000 CUBIC YARDS
TOTAL	52,000 CUBIC YARDS
BALANCE	10,000 CUBIC YARDS OF EXPORT

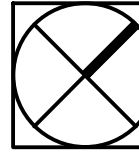
EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION, AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.



Know what's below.  
Call before you dig.



JOB NO. 20180881-10  
DATE 05-19-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com



PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

GRADING PLAN  
SOUTH SITE



C11.1



The site plan illustrates a residential development layout. Key features include:

- Garage Units:** Multiple units labeled "GARAGE FF" with various elevation ranges (e.g., 302.85 - 303.35, 269.85 - 270.25, 268.95 - 269.55, 269.15 - 269.45, 269.00 - 269.50).
- Bioretention Silva Cells:** Several cells with specific areas (e.g., 780 SF, 880 SF, 1,760 SF, 1,135 SF, 2,850 SF).
- Campus Drive:** A central road with a "ROW WIDTH VARIES (65 TO 69 FT)".
- 26th Avenue:** A street at the bottom right with a "GATE WITH KNOX BOX LOCK OR BOLLARDS TO BE INSTALLED".
- Easements:** A "20' WATER LINE EASEMENT & P.U.E." is noted at the bottom center.
- Annotations:** Numerous technical notes regarding elevations (e.g., TW 304.00, BW 303.50), setbacks (e.g., 10' X 10' P.U.E.), and construction details (e.g., "REPLACE (E) CURB AND GUTTER WITH ROLLED CURB AND GUTTER").

The plan also includes a professional engineer's seal in the bottom right corner, dated 04.11.2024, for Dale J. Leda, Registered Professional Engineer, No. 78436.

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

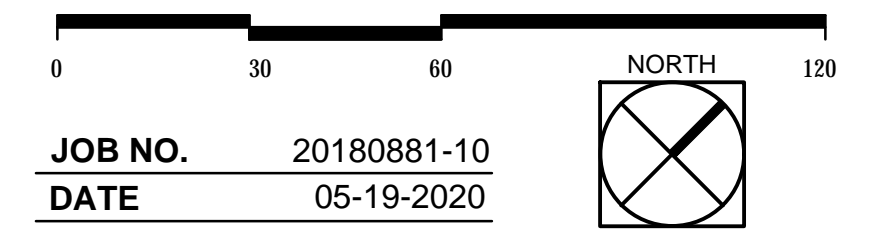
# GRADING PLAN SOUTH SITE



**JOB NO.** 20180881-10  
**DATE** 05-19-2020

---

255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
[www.bkf.com](http://www.bkf.com)



## C11.2



EXISTING SEWER DEMAND – NORTH SITE				
ADDRESS	GROSS FLOOR AREA (F <sup>2</sup> )	WASTEWATER GENERATION RATE <sup>1</sup> (GPD/F <sup>2</sup> )	WASTEWATER GENERATION (GPD <sub>s</sub> )	PEAK HOUR FLOW RATE <sup>2</sup> (CFS <sub>s</sub> )
2655 CAMPUS DRIVE	57,400	0.12	7,089	0.07
2755 CAMPUS DRIVE	87,000	0.12	10,460	0.10
TOTAL			17,549	0.17

<sup>1</sup>COMMERCIAL WASTEWATER GENERATION RATE = 0.95\*(0.13 GPD/GROSS SF) PER CITY OF REDWOOD CITY FEES AND CHARGES ATTACHMENT Q (01/23/2020).

<sup>2</sup>PEAK HOUR FLOW = 3\*(WASTEWATER GENERATION/12 HOURS/60MINUTES/60SECONDS/7.48052GALLONS) PER CITY OF SAN MATEO PUBLIC WORKS.

PROPOSED SEWER DEMAND – NORTH SITE					
ADDRESS	# OF UNITS	PERSONS PER UNIT <sup>1</sup>	WASTEWATER GENERATION RATE <sup>2</sup> (GPD/PERSON)	WASTEWATER GENERATION (GPD <sub>s</sub> )	PEAK HOUR FLOW RATE <sup>3</sup> (CFS <sub>s</sub> )
2655 CAMPUS DRIVE					
MULTI-FAMILY UNIT	54	2.2	65	7,722	0.07
SINGLE-FAMILY UNIT	18	3.4	65	3,978	0.04
TOTAL	72			11,700	0.11
2755 CAMPUS DRIVE					
MULTI-FAMILY UNIT	58	2.2	65	8,294	0.08
SINGLE-FAMILY UNIT	26	3.4	65	5,746	0.05
TOTAL	84			14,040	0.13
TOTAL					
TOTAL	156			25,740	0.24

<sup>1</sup>PERSONS PER UNIT IS 2.2 FOR MULTI-FAMILY UNITS AND 3.4 FOR SINGLE-FAMILY UNITS PER THE CITY OF REDWOOD CITY FEES AND CHARGES (01/23/2020).

<sup>2</sup>RESIDENTIAL WASTEWATER GENERATION RATE = 65 GPD/PERSON PER CITY OF SAN MATEO PUBLIC WORKS.

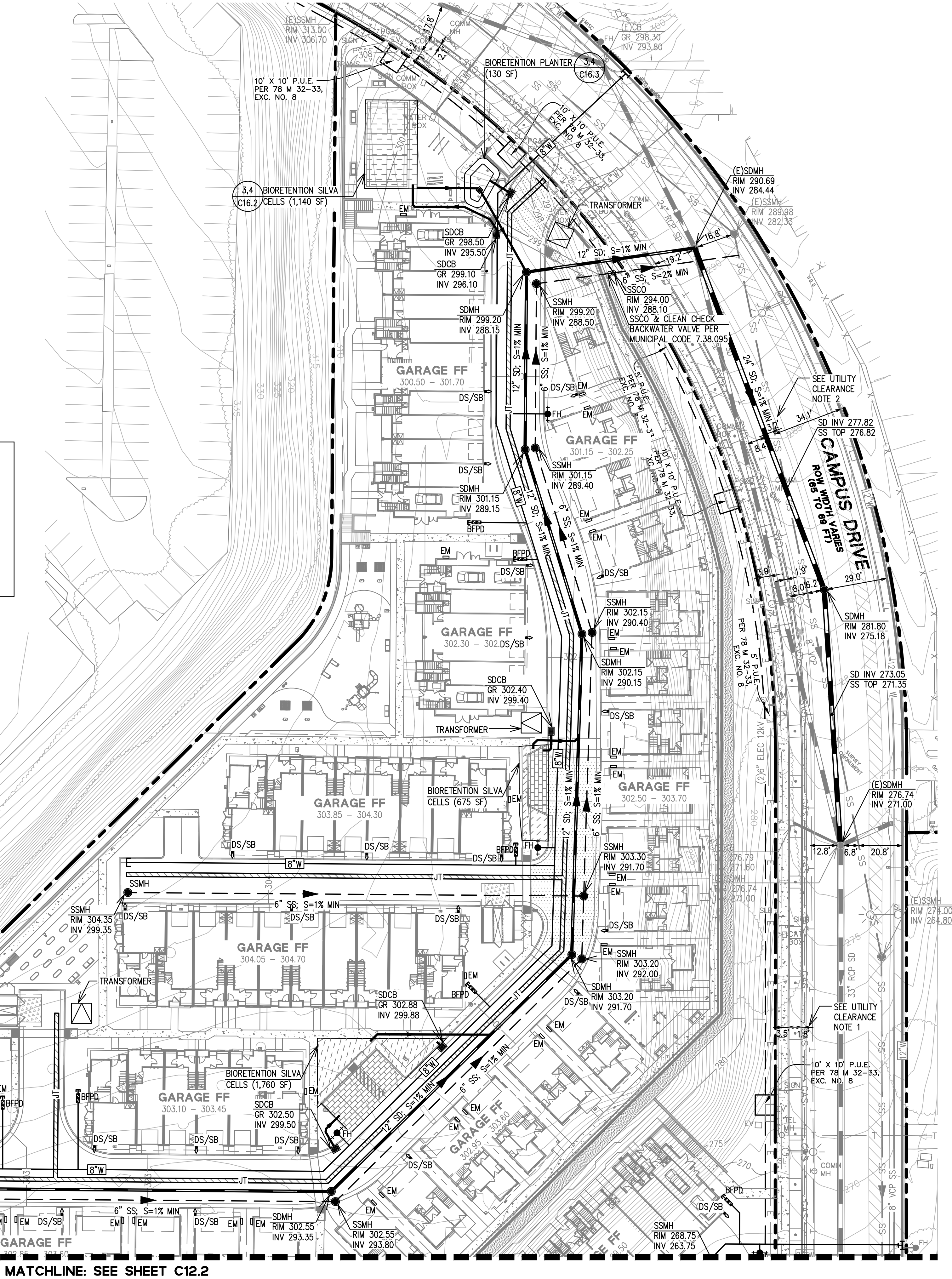
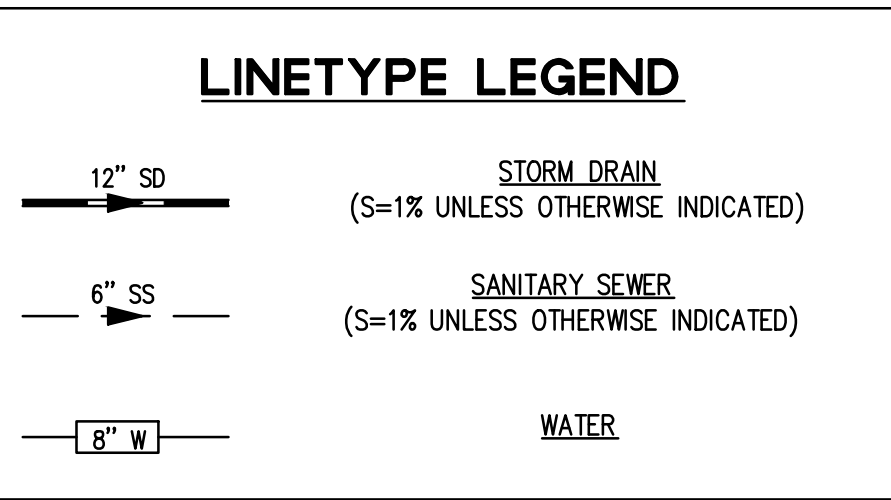
<sup>3</sup>PEAK HOUR FLOW = 3\*(WASTEWATER GENERATION/12 HOURS/60MINUTES/60SECONDS/7.48052GALLONS) PER CITY OF SAN MATEO PUBLIC WORKS.

#### UTILITY UNDERGROUND/SCREENING NOTE:

- ALL PUBLIC UTILITY SERVICE CONNECTIONS SHALL BE LOCATED UNDERGROUND PER SMMC 27.44.040(A). ALL OTHER ABOVE GRADE UTILITY EQUIPMENT SHALL BE SCREENED FROM VIEW AND/OR INTEGRATED INTO THE BUILDING DESIGN.

#### UTILITY CLEARANCE NOTES:

- UTILITY CLEARANCES ARE BASED ON BLOCK MAPS AND HISTORICAL DATA. CLEARANCES BETWEEN EXISTING UTILITIES AND NEW GREEN INFRASTRUCTURE IMPROVEMENTS LESS THAN THE REQUIRED CLEARANCES TO BE APPROVED BY THE AGENCIES WITH JURISDICTION OR RELOCATED WITHIN THE PUBLIC R.O.W. AS NEEDED.
- WHERE MINIMUM SEPARATIONS (1-FT VERTICAL, 5-FT HORIZONTAL) CANNOT BE MAINTAINED AT STORM/SEWER CROSSINGS, ADEQUATE PROTECTION SHALL BE PROVIDED IN THE FORM OF STEEL CASING OR OTHER METHOD OF ENCASEMENT TO THE SATISFACTION OF THE CITY ENGINEER.



#### STORM DRAIN NOTES:

- PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITH A MINIMUM OF TWO (2) FEET OF COVER IN NON-TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 WHITE PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLUED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS, 45° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
- PRIVATE STORM DRAIN LINE 6-INCH THROUGH 12-INCH WITH LESS THAN THREE (3) FEET OF COVER IN VEHICULAR TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) C900, RATED FOR 150 PSI CLASS PIPE. PROVIDE AND INSTALL "STORM DRAIN" MARKER TAPE FOR THE ENTIRE LENGTH OF PIPE TRENCH IN ACCORDANCE WITH CITY/TOWN STANDARDS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, OBUSE ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
- ALL AREA DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.
- ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
- FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM.
- DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER.
- ALL STORM DRAIN INLETS SHALL INCORPORATE TRASH CAPTURE CONSISTENT WITH SWRCB DEFINITION OF FULL CAPTURE SYSTEM.

#### SANITARY SEWER NOTES:

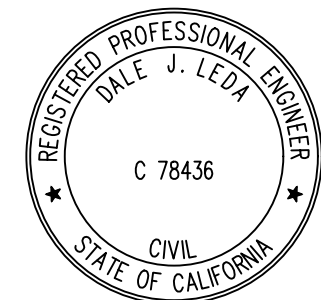
- ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE CITY/TOWN OR APPROPRIATE SANITARY SEWER DISTRICT.
- PRIVATE SANITARY SEWER SERVICE LINE 4-INCH THROUGH 8-INCH SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 GREEN SEWER PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLUED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR 45° ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED. PUBLIC SANITARY SEWER LINES AND MAINS SHALL BE PER CITY/TOWN STANDARDS.
- ALL LATERALS SHALL HAVE A CLEANOUT AT FACE OF BUILDING PER THE CITY STANDARD OR APPROPRIATE SANITARY SEWER DISTRICT.
- IF (E) SEWER LATERAL IS TO BE USED, CONTRACTOR SHALL PERFORM PRESSURE TEST ON (E) SEWER LATERAL, AND SHALL PERFORM ANY NEEDED REPAIRS. EXTEND (N) OR (E) SEWER LINE AS SHOWN ON THE PLANS SLOPED AT 2% MINIMUM. INSTALL CLEANOUT AT FACE OF BUILDING AND AT PROPERTY LINE.

#### WATER SYSTEM NOTES:

- MAINTAIN WATER LINES 10' AWAY FROM SANITARY SEWER LINES.
- WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90 DEGREE ANGLE AND WATER LINES SHALL BE MINIMUM OF 12" ABOVE TOP OF SANITARY SEWER LINES.
- WATER LINES ARE SHOWN SCHEMATICALLY, CONTRACTOR SHALL IDENTIFY EACH ANGLE AND/OR BEND THAT MAY BE REQUIRED TO ACCOMPLISH THE INTENDED DESIGN.
- ALL WATER SERVICE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY/TOWN OR APPLICABLE WATER DISTRICT STANDARDS.
- CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE APPROVED BY THE CITY/TOWN. THE CONTRACTOR SHALL PAY THE ACTUAL COSTS OF CONSTRUCTION. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, PREPARE THE SITE, FURNISH ALL MATERIALS, INSTALL TAPPING TEE, VALVE AND ALL THRUST BLOCKS, BACKFILL, RESTORE THE SURFACE, AND CLEAN UP. THE CITY/TOWN WILL PROVIDE THE CLIENT WITH A LIST OF APPROVED CONTRACTORS FOR MAKING WET TAPS. NONMETALLIC WATER LINES SHALL HAVE TRACER WIRES INSTALLED.
- ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER.
- CONTRACTOR SHALL SIZE AND INSTALL ALL NEW DESIGN BUILD DOMESTIC IRRIGATION AND FIRE WATER LINE(S) IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM/CALIFORNIA PLUMBING AND FIRE CODES. (ALL FIXTURE UNIT COUNTS SHALL BE REVIEWED AND APPROVED BY THE CITY/TOWN'S BUILDING AND/OR WATER DEPARTMENT PRIOR TO CONSTRUCTION.)
- CONCRETE THRUST BLOCKS SHALL BE INSTALLED AT ALL TEES, CROSSES, BENDS (HORIZONTAL AND VERTICAL), AT SIZE CHANGES AND AT FIRE HYDRANTS PER CITY/TOWN STANDARD, AWWA C600, SECTION 3.8 UNLESS NOTED OTHERWISE.
- ALL ON AND OFF-SITE LANDSCAPE IRRIGATION SYSTEMS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS AND SHALL BE CONNECTED TO THE EXISTING AND/OR NEW WATER SYSTEM AND METERED ACCORDINGLY.
- INSTALL CITY/TOWN APPROVED PRESSURE REGULATOR AND REDUCED BACKFLOW PREVENTOR ON WATER LINE AT EACH CLUSTER OF UNITS AND AT EACH SINGLE FAMILY DWELLING UNIT. REFERENCE PLUMBING PLANS FOR MORE DETAIL.



Know what's below.  
Call before you dig.



JOB NO. 20180881-10  
DATE 05-19-2020

255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com



C12.1

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

UTILITY PLAN  
SOUTH SITE

DRAWING NAME: K:\2018\Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 05-14-20 PLOTTED BY: wort



PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

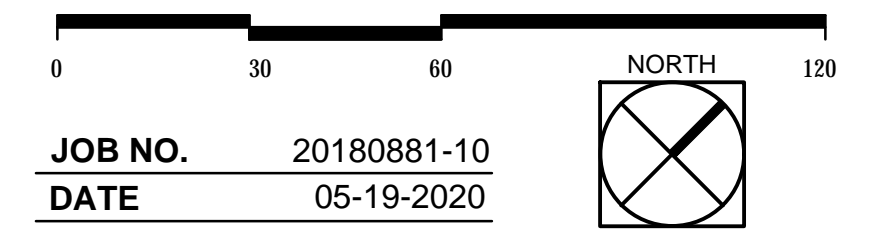
# UTILITY PLAN SOUTH SITE



**JOB NO.** 20180881-10  
**DATE** 05-19-2020

---

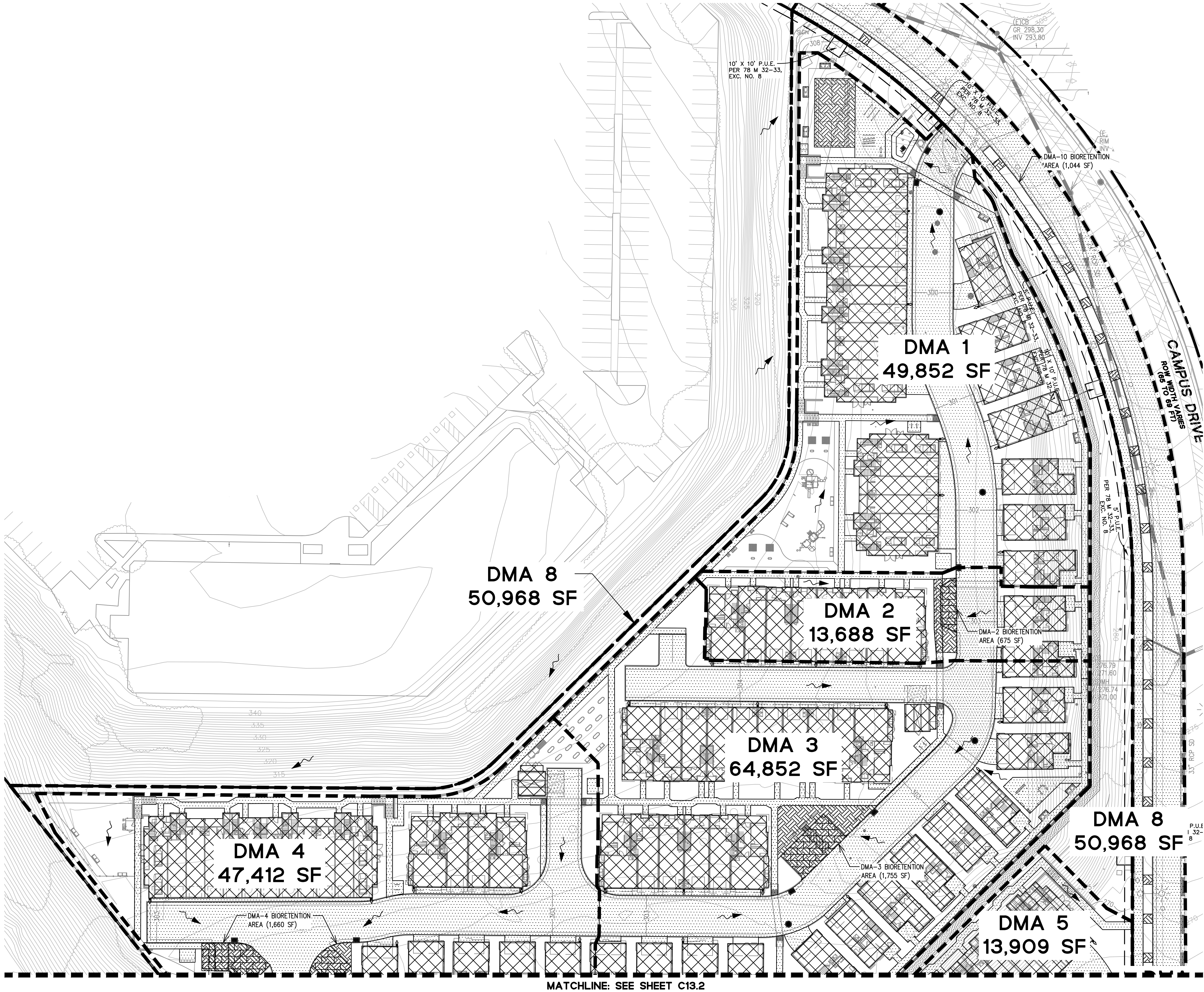
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
[www.bkf.com](http://www.bkf.com)



## C12.2



DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort



**LEGEND**

- (P) PERVIOUS LANDSCAPE
- (P) PERVIOUS PAVEMENT
- (P) IMPERVIOUS HARDSCAPE
- (P) IMPERVIOUS BUILDING
- (P) BIORETENTION AREA
- (P) SILVA CELLS

	DMA 1	DMA 2	DMA 3	DMA 4	DMA 5
TOTAL AREA	49,852 SQ FT	13,688 SQ FT	64,852 SQ FT	47,412 SQ FT	13,909 SQ FT
(P) PERVIOUS AREA					
PERVIOUS LANDSCAPE	16,368 SQ FT	2,292 SQ FT	15,970 SQ FT	13,569 SQ FT	3,216 SQ FT
PERVIOUS PAVEMENT	0 SQ FT	300 SQ FT	780 SQ FT	1,100 SQ FT	710 SQ FT
TOTAL:	16,368 SQ FT	2,592 SQ FT	16,750 SQ FT	14,669 SQ FT	3,926 SQ FT

(P) IMPERVIOUS AREA					
HARDSCAPE	15,192 SQ FT	3,104 SQ FT	22,900 SQ FT	16,393 SQ FT	4,872 SQ FT
BUILDINGS	18,292 SQ FT	7,992 SQ FT	25,202 SQ FT	16,350 SQ FT	5,111 SQ FT
TOTAL:	33,484 SQ FT	11,096 SQ FT	48,102 SQ FT	32,743 SQ FT	9,983 SQ FT

INTERCEPTOR TREE CREDITS <sup>5</sup>	0 SQ FT	0 SQ FT	0 SQ FT	0 SQ FT	0 SQ FT
TOTAL EFFECTIVE IMPERVIOUS AREA <sup>1</sup>	35,121 SQ FT	11,355 SQ FT	49,777 SQ FT	34,210 SQ FT	10,376 SQ FT

REQUIRED LID TREATMENT AREA <sup>2</sup>	1,122 SQ FT	363 SQ FT	1,590 SQ FT	1,094 SQ FT	332 SQ FT
PROVIDED LID TREATMENT AREA <sup>3</sup>	1,270 SQ FT	675 SQ FT	1,755 SQ FT	1,660 SQ FT	710 SQ FT

	DMA 6	DMA 7	DMA 8 <sup>4</sup>	DMA 9	DMA 10
TOTAL AREA	88,529 SQ FT	35,448 SQ FT	50,968 SQ FT	1,696 SQ FT	37,891 SQ FT
(P) PERVIOUS AREA					
PERVIOUS LANDSCAPE	18,518 SQ FT	8,763 SQ FT	50,968 SQ FT	144 SQ FT	5,266 SQ FT
PERVIOUS PAVEMENT	0 SQ FT	521 SQ FT	0 SQ FT	0 SQ FT	0 SQ FT
TOTAL:	18,518 SQ FT	9,284 SQ FT	50,968 SQ FT	144 SQ FT	5,266 SQ FT

(P) IMPERVIOUS AREA					
HARDSCAPE	28,528 SQ FT	15,829 SQ FT	0 SQ FT	1,552 SQ FT	32,625 SQ FT
BUILDINGS	41,483 SQ FT	10,335 SQ FT	0 SQ FT	0 SQ FT	0 SQ FT
TOTAL:	70,011 SQ FT	26,164 SQ FT	0 SQ FT	1,552 SQ FT	32,625 SQ FT

INTERCEPTOR TREE CREDITS <sup>5</sup>	0 SQ FT	0 SQ FT	0 SQ FT	0 SQ FT	2,900 SQ FT
TOTAL EFFECTIVE IMPERVIOUS AREA <sup>1</sup>	71,863 SQ FT	27,092 SQ FT	0 SQ FT	1,566 SQ FT	29,725 SQ FT

REQUIRED LID TREATMENT AREA <sup>2</sup>	2,300 SQ FT	866 SQ FT	0 SQ FT	50 SQ FT	968 SQ FT
PROVIDED LID TREATMENT AREA <sup>3</sup>	2,850 SQ FT	1,135 SQ FT	0 SQ FT	72 SQ FT	1044 SQ FT

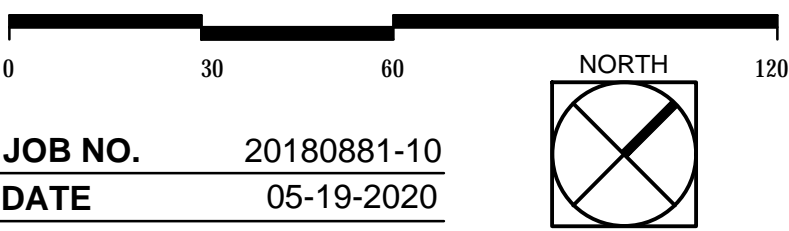
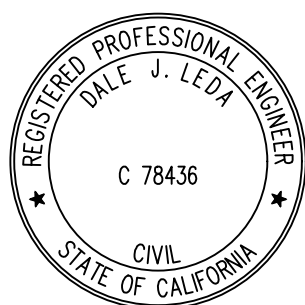
- NOTES:
- EFFECTIVE IMPERVIOUS AREA IS EQUAL TO THE TOTAL IMPERVIOUS AREA PLUS 0.1 TIMES THE TOTAL PERVIOUS AREA PER THE SAN MATEO COUNTY C.3 MANUAL.
  - REQUIRED LID TREATMENT AREAS ARE DETERMINED FROM THE SAN MATEO COUNTY C.3 COMBINED FLOW AND VOLUME METHOD.
  - PROVIDED LID TREATMENT IS COMBINATION OF BIORETENTION AREAS AND SILVA CELLS.
  - DMA 8 DOES NOT REQUIRE A BIOTREATMENT AREA BECAUSE IT IS SELF-TREATING AND BYPASSES ONSITE STORM DRAIN SYSTEM.

**STORM DRAIN NOTES:**

- SEE UNIT GRADING SHEETS (C16.6 AND C16.7) FOR CONCEPTUAL DRAINAGE FOR INDIVIDUAL UNITS.
- SITE IS SUBJECT TO SMCWPPP HYDROMODIFICATION REQUIREMENTS.

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

STORMWATER CONTROL PLAN  
SOUTH SITE

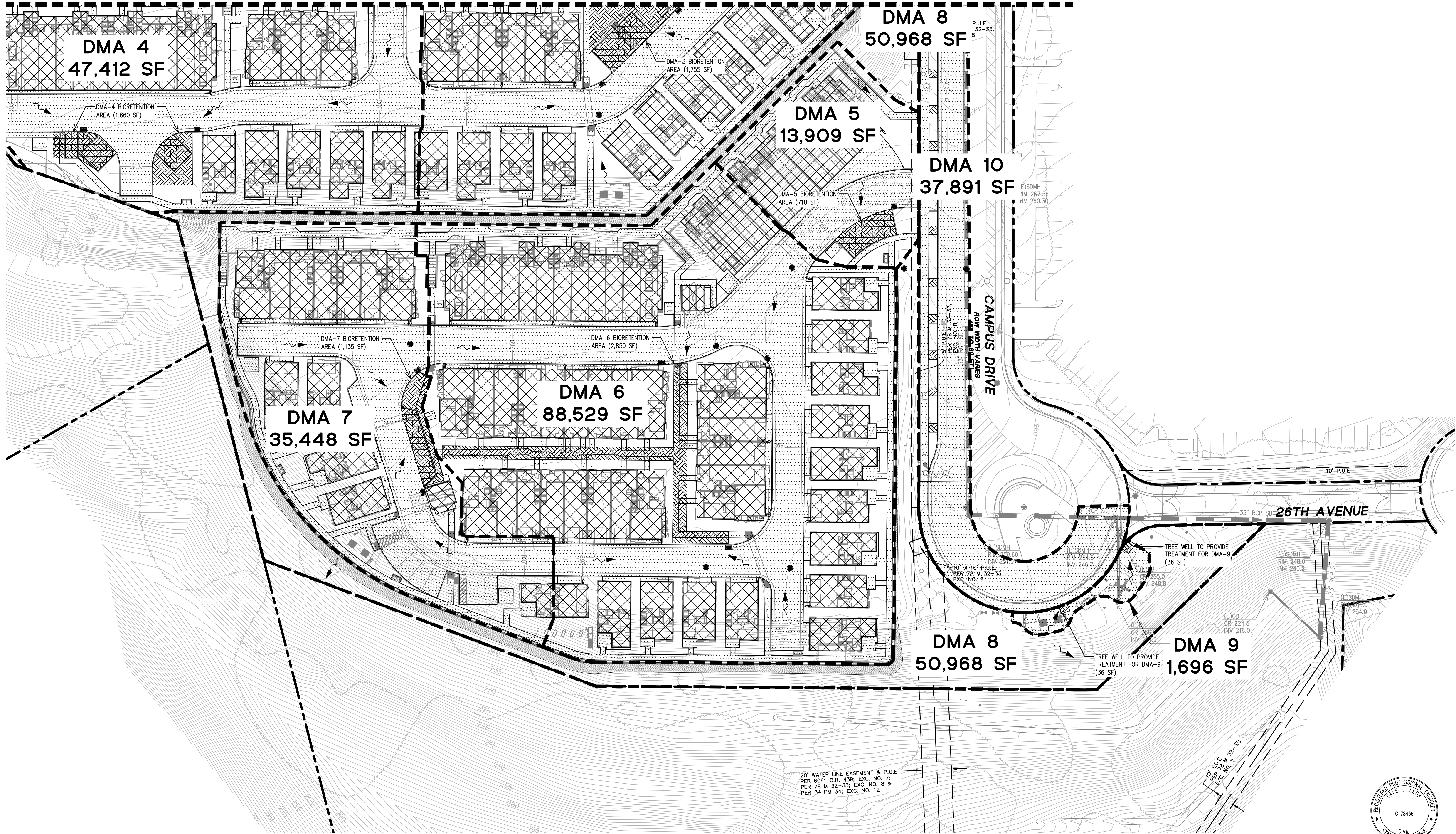


JOB NO. 20180881-10  
DATE 05-19-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com

C13.1



MATCHLINE: SEE SHEET C13.1



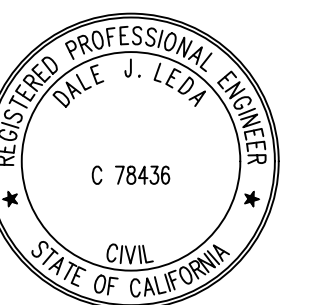
DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

STORMWATER CONTROL PLAN  
SOUTH SITE

**BKF100+**  
YEARS  
ENGINEERS . SURVEYORS . PLANNERS

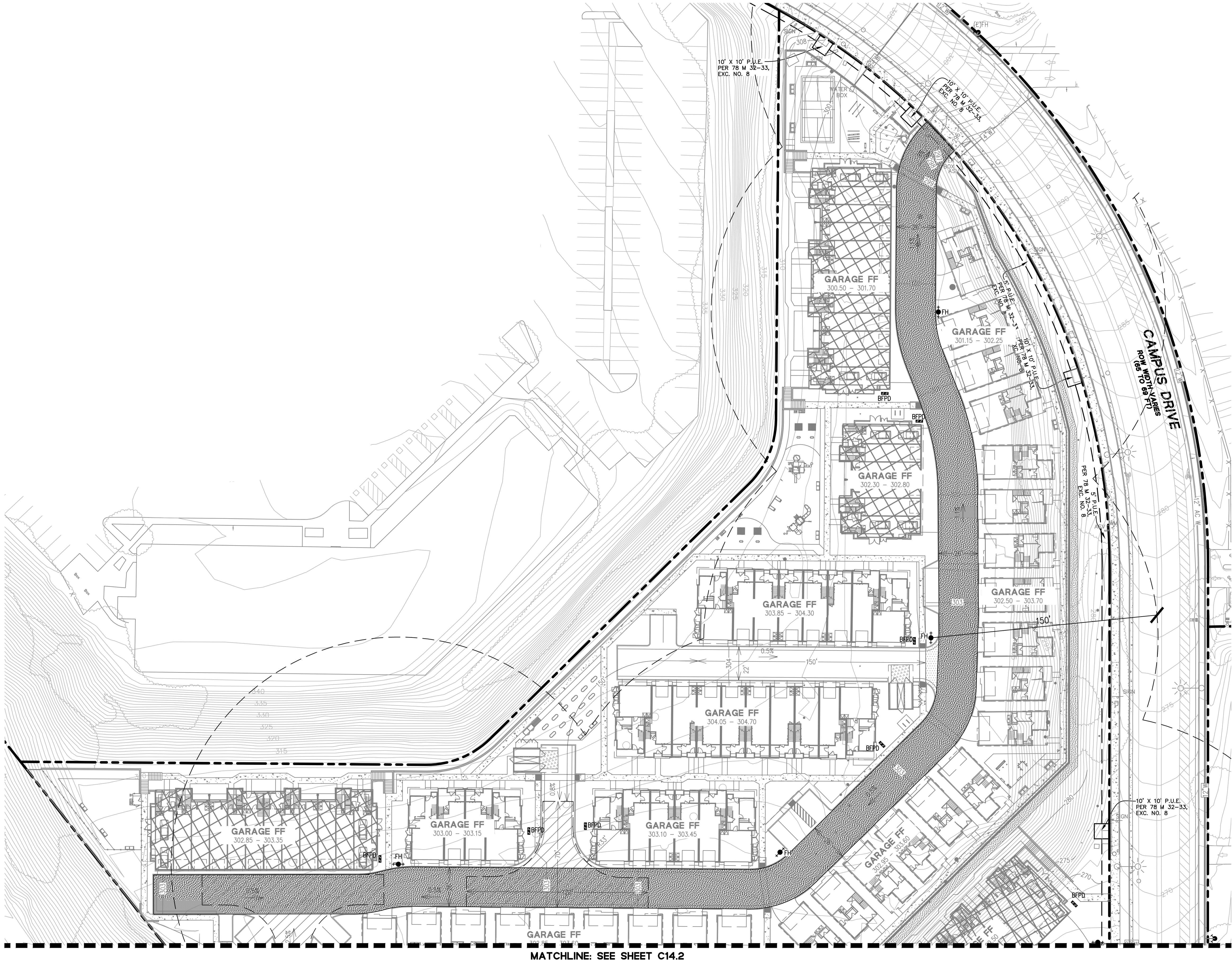
JOB NO. 20180881-10  
DATE 05-19-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com



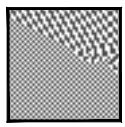
C13.2



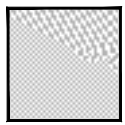
DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort



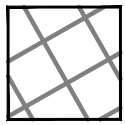
**FIRE ACCESS NOTES:**



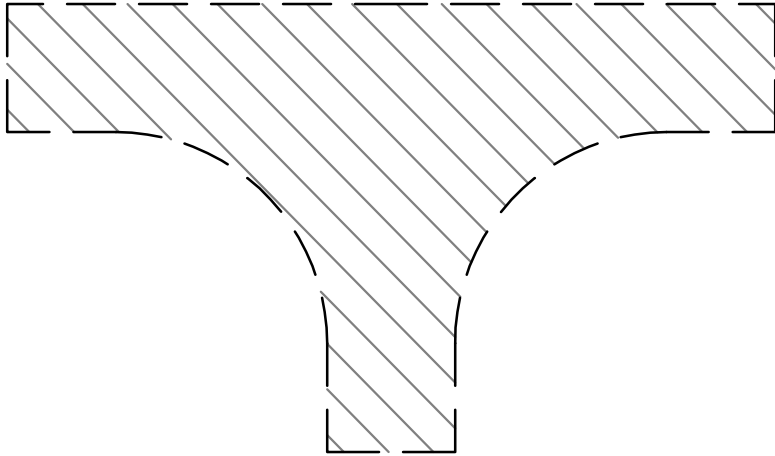
DESIGNATES 26-FT UNOBSTRUCTED FIRE LANE WIDTH AND NO LESS THAN 13.5-FT UNOBSTRUCTED HEIGHT FOR AERIAL APPARATUS ACCESS. ALL CURBS WITHIN SHALL BE RED PAINTED AND MARKED WITH WHITE CURB LETTERING "NO PARKING, FIRE LANE" AT NO LESS THAN 25-FT INTERVALS.



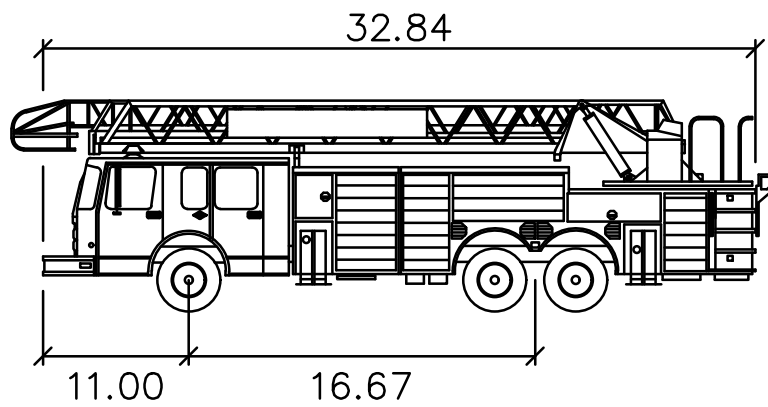
DESIGNATES 20-FT (MINIMUM) UNOBSTRUCTED FIRE LANE WIDTH FOR FIRE APPARATUS ACCESS. ALL CURBS WITHIN SHALL BE RED PAINTED AND MARKED WITH WHITE CURB LETTERING "NO PARKING, FIRE LANE" AT NO LESS THAN 25-FT INTERVALS.



4-STORY UNITS



FIRE TRUCK TURNAROUND PER SAN MATEO FIRE DEPARTMENT. ALL CURBS ALONG FIRE TRUCK TURNAROUNDS SHALL BE RED PAINTED AND MARKED WITH WHITE CURB LETTERING "NO PARKING, FIRE LANE" AT NO LESS THAN 25-FT INTERVALS.

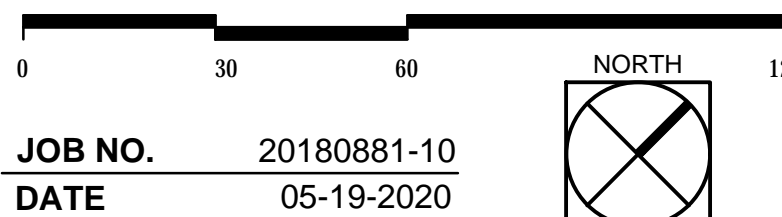
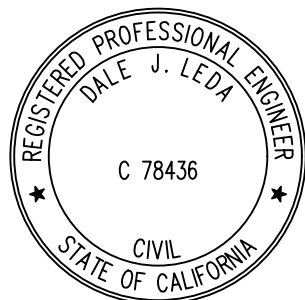


FIRE TRUCK

	feet
Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 31.9

**FIRE HYDRANT NOTES:**

1. ALL FIRE HYDRANTS IN VICINITY OF THE PROJECT SITE SHALL BE UPGRADED TO CLOW MODEL 960 OR APPROVED EQUIVALENT.
2. ONSITE HYDRANT SPACING SHALL BE 250 FT MEASURED ALONG ACCESS ROAD.
3. ALL HYDRANTS SHALL BE CAPABLE OF DELIVERING 1,500 GPM AT 20 PSI RESIDUAL PRESSURE.



JOB NO. 20180881-10  
DATE 05-19-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com



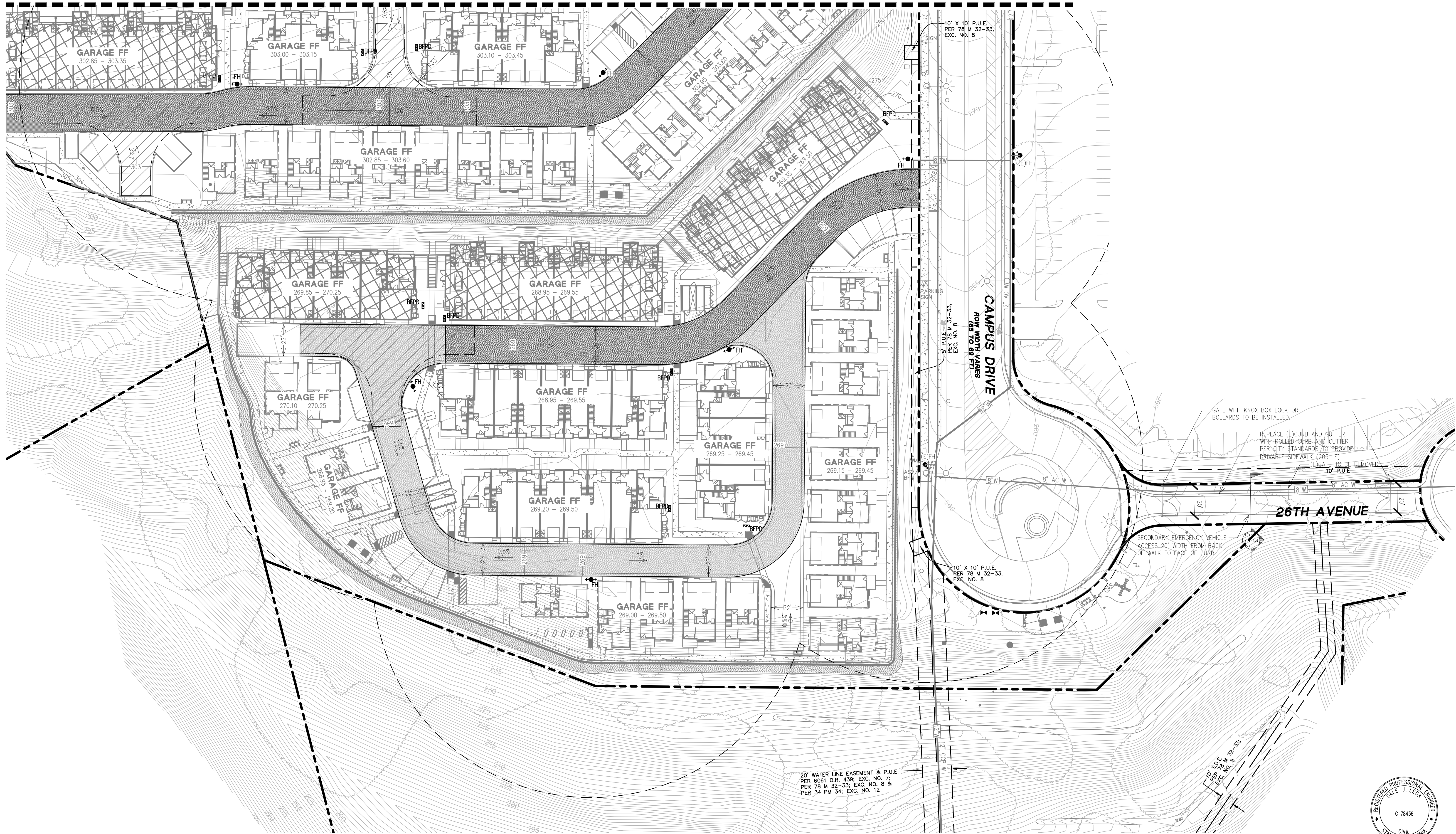
PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

FIRE ACCESS PLAN  
SOUTH SITE

C14.1



MATCHLINE: SEE SHEET C14.1



DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

FIRE ACCESS PLAN  
SOUTH SITE



0 30 60 120 NORTH

JOB NO. 20180881-10  
DATE 05-19-2020

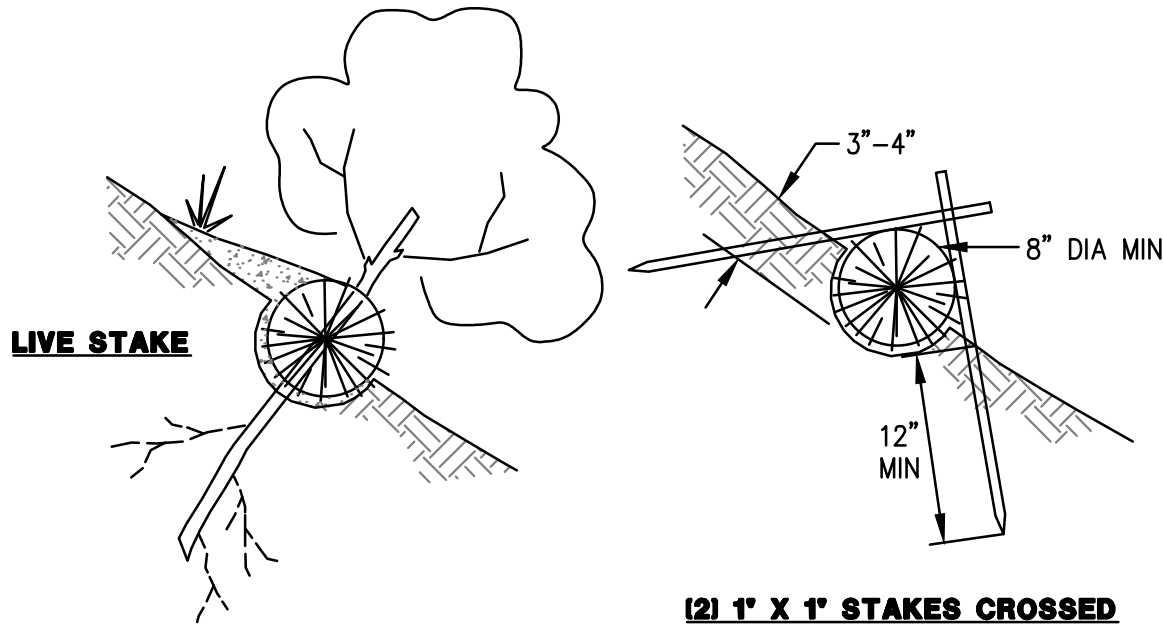
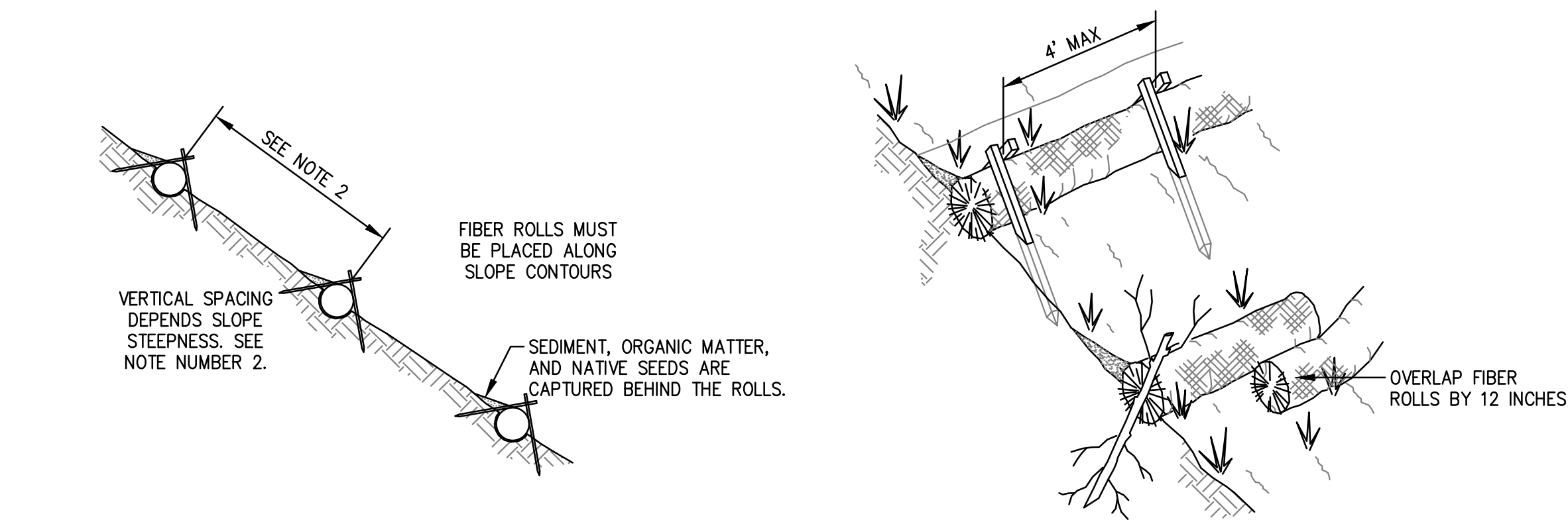
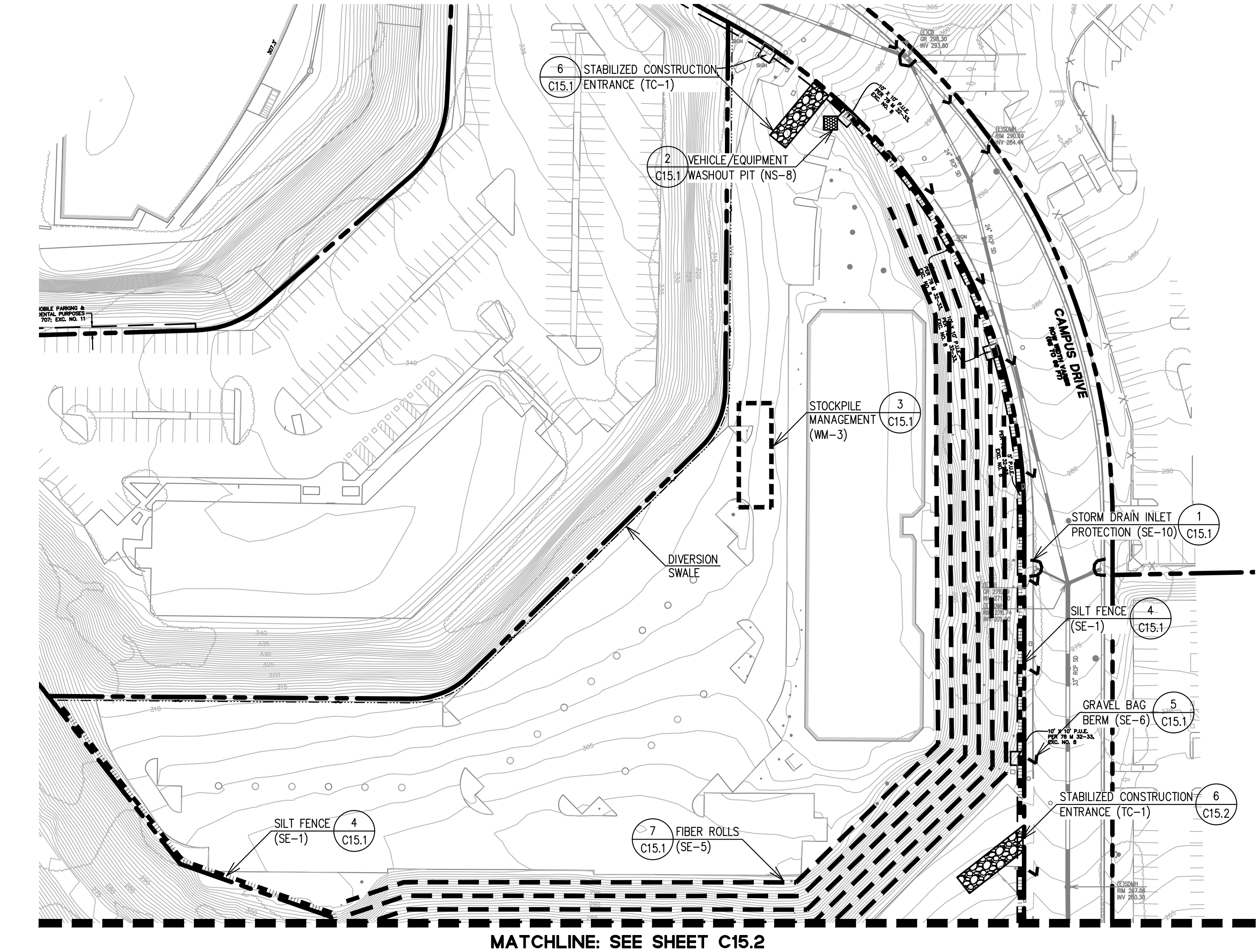
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com

REGISTERED PROFESSIONAL ENGINEER  
DALE J. LIDA  
C 78436  
CIVIL  
STATE OF CALIFORNIA

C14.2

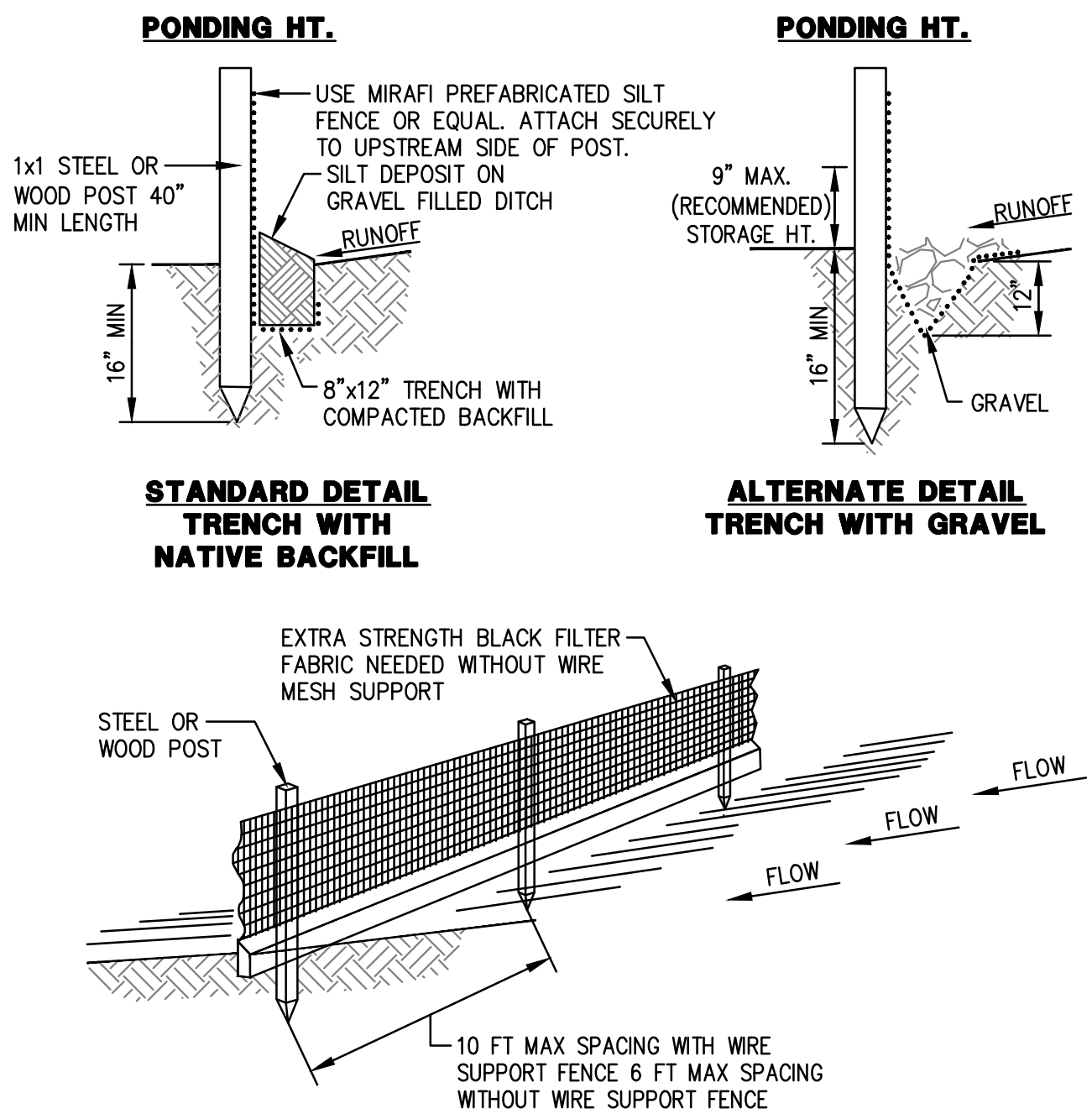


DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort



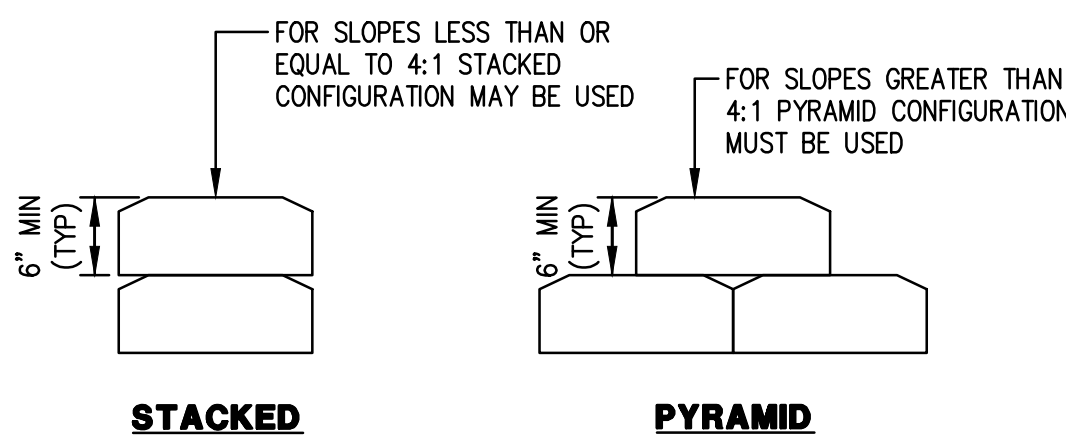
- NOTES:**
- FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" TO 4" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
  - VERTICAL SPACING FOR SLOPE INSTALLATIONS:
    - SLOPE OF 2:1 OR GREATER = 10 FEET APART
    - SLOPE BETWEEN 4:1 AND 2:1 = 15 FEET APART
    - SLOPE OF 4:1 OR FLATTER = 20 FEET APART
  - INSPECT AND REPAIR FIBER ROLLS AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
  - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

**7 FIBER ROLL**  
NTS



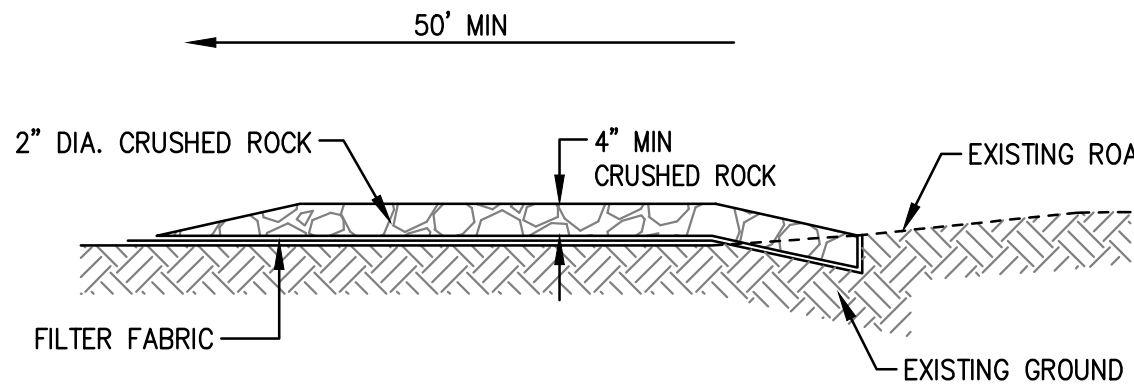
- NOTES:**
- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
  - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
  - SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

**4 SILT FENCE**  
NTS



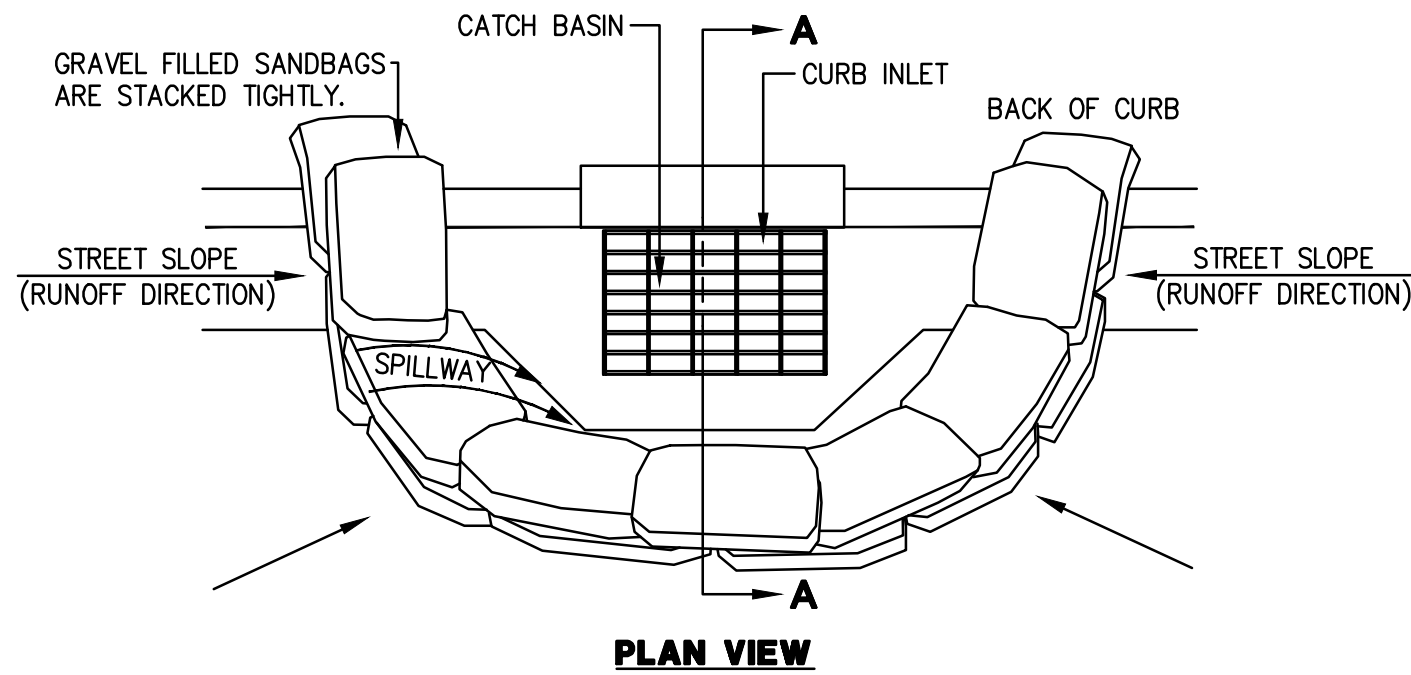
- NOTES:**
- INSTALL AT LOCATIONS AS SHOWN ON EROSION CONTROL PLAN, AND IN ADDITION, PROTECT ALL EXISTING AND PROPOSED STORM DRAIN STRUCTURES WITH GRAVEL BAGS.

**5 GRAVEL BAG BERM**  
NTS



- NOTES:**
- PROVIDE A FANNED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET.
  - INSTALL ALONG NEW DWY CORRIDOR FOR THE FULL PROPOSED WIDTH.

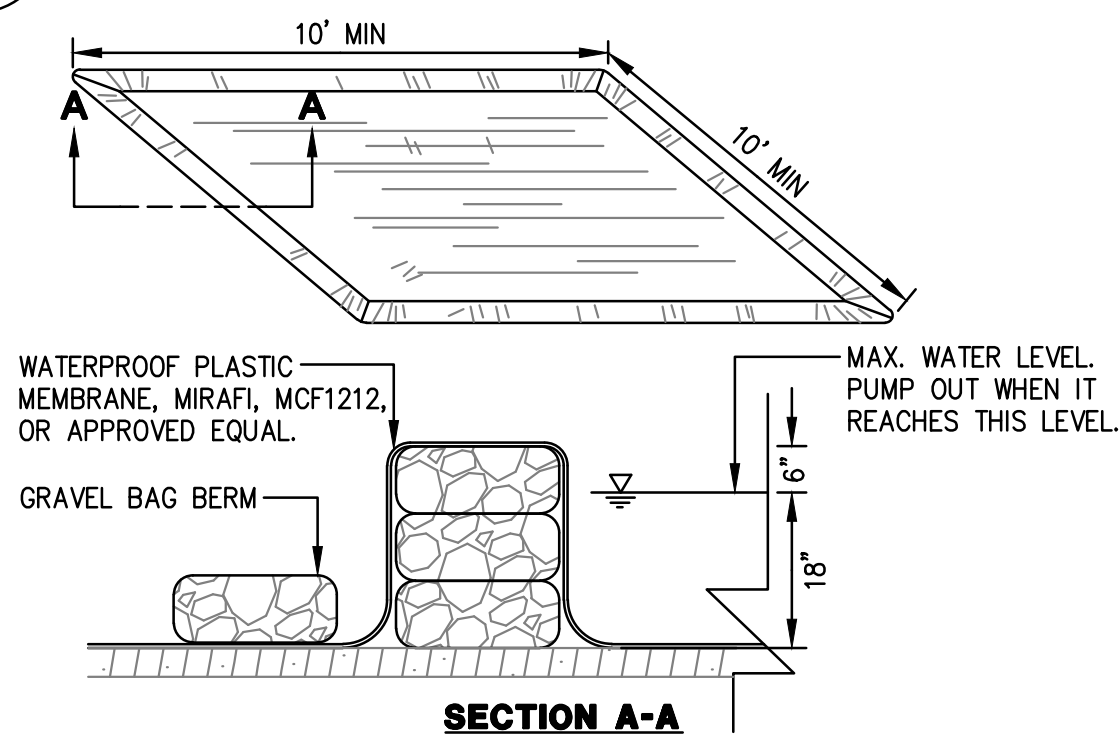
**6 STABILIZED CONSTRUCTION ENTRANCE**  
NTS



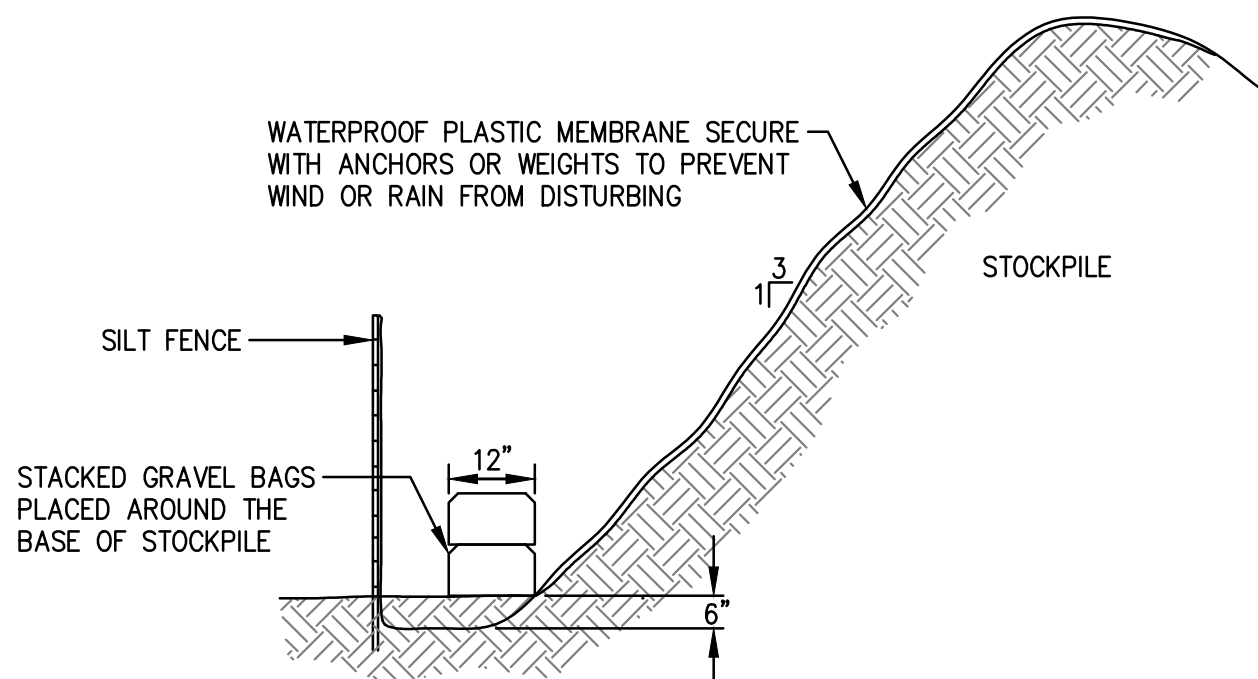
**CURB INLET SEDIMENT BARRIER - SUMP**

- NOTES:**
- PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREETS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
  - SANDBAGS OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
  - LEAVE ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY OVERFLOW.
  - INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT, SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

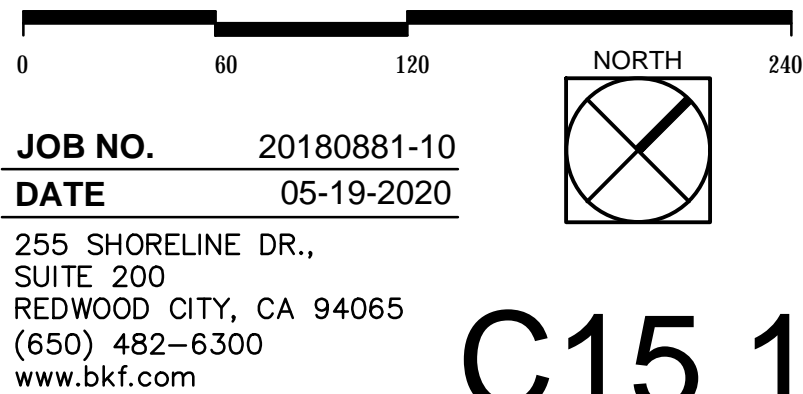
**1 INLET PROTECTION**  
NTS



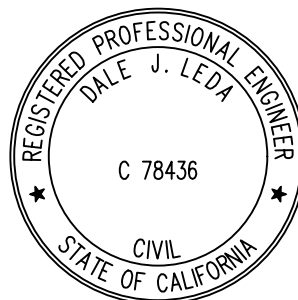
**2 VEHICLE/EQUIPMENT WASHOUT PIT**  
NTS



**3 STOCKPILE COVERING**  
NTS



**JOB NO.** 20180881-10  
**DATE** 05-19-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com



**PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA**  
**CAMPUS POP INVESTOR, LLC**

**EROSION CONTROL PLAN**  
**SOUTH SITE**



**C15.1**



DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort

# PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA

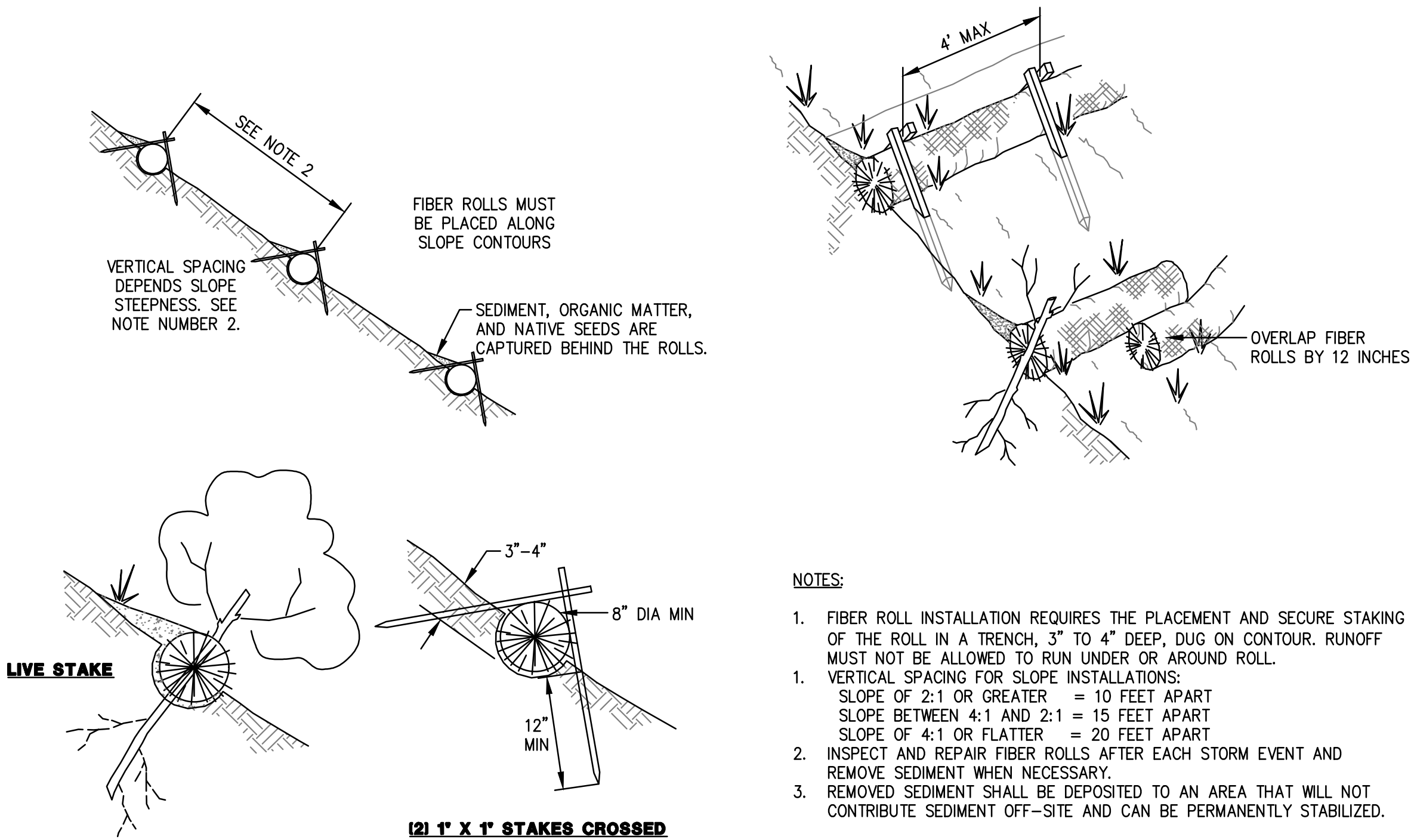
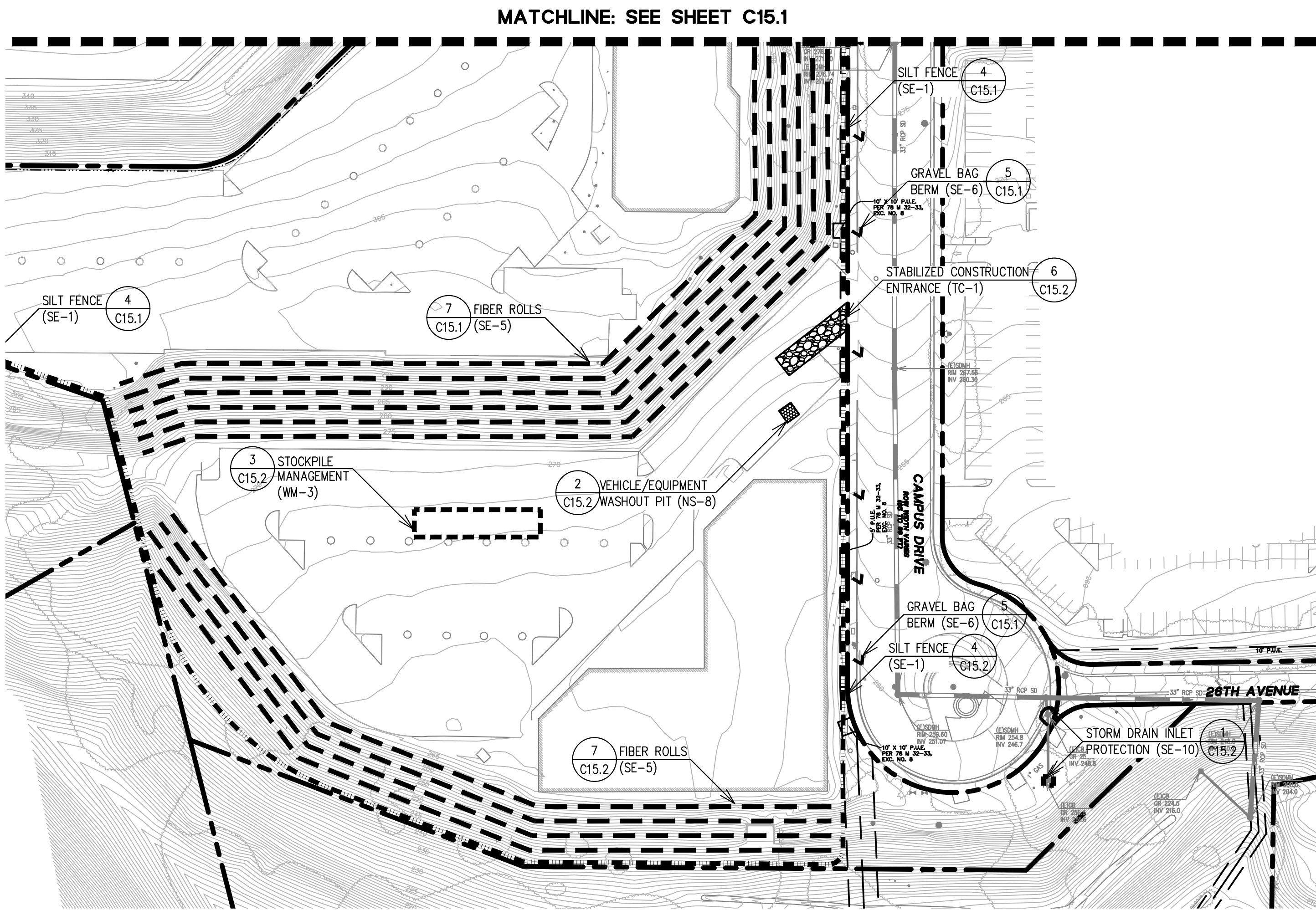
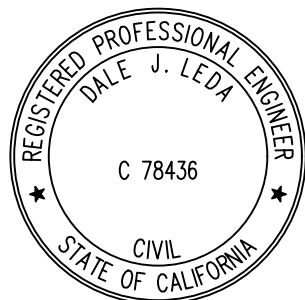
## CAMPUS POP INVESTOR, LLC

# EROSION CONTROL PLAN

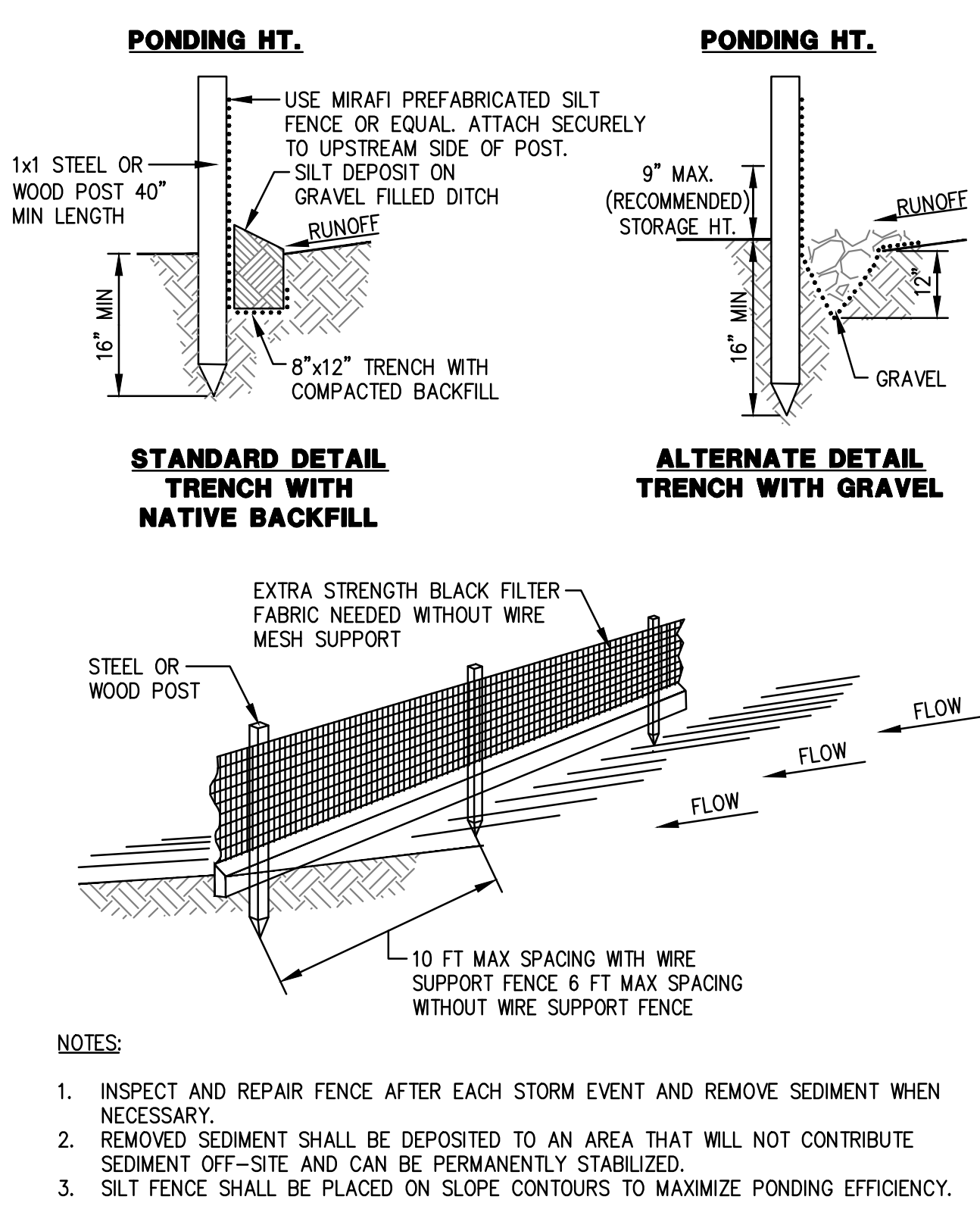
## SOUTH SITE



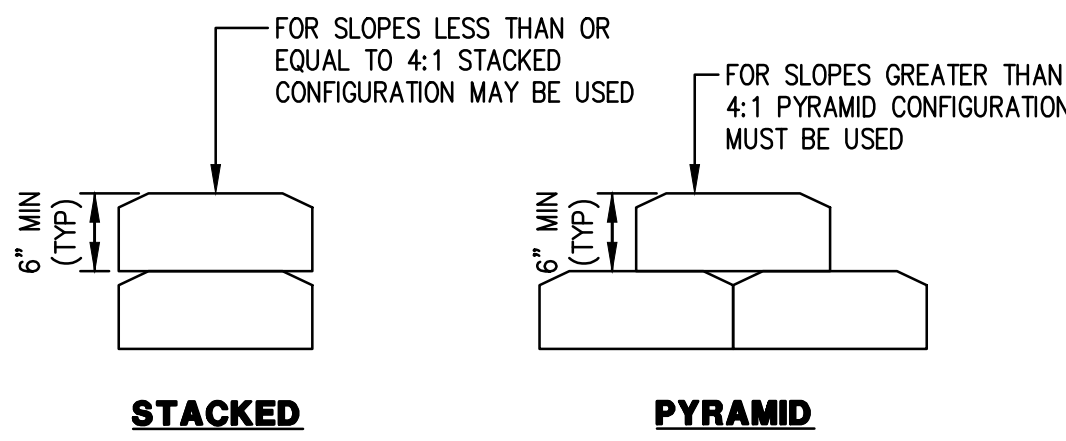
JOB NO. 20180881-10  
DATE 05-19-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com



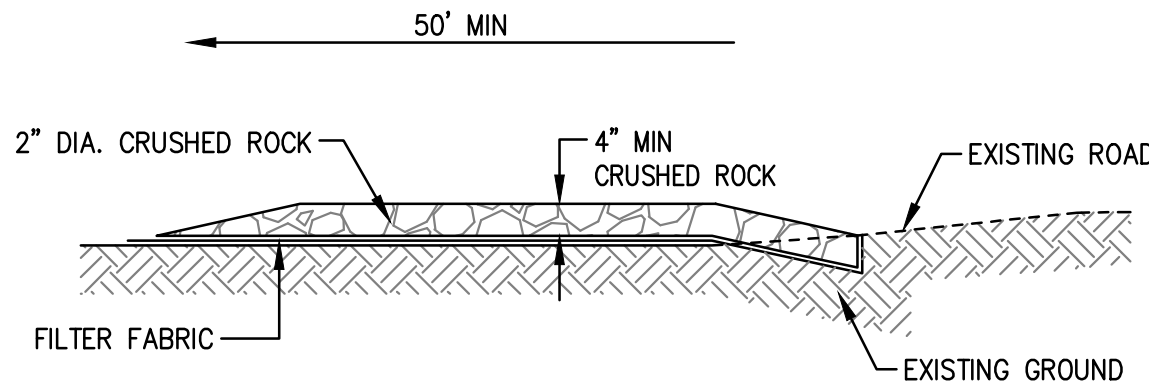
7 FIBER ROLL  
NTS



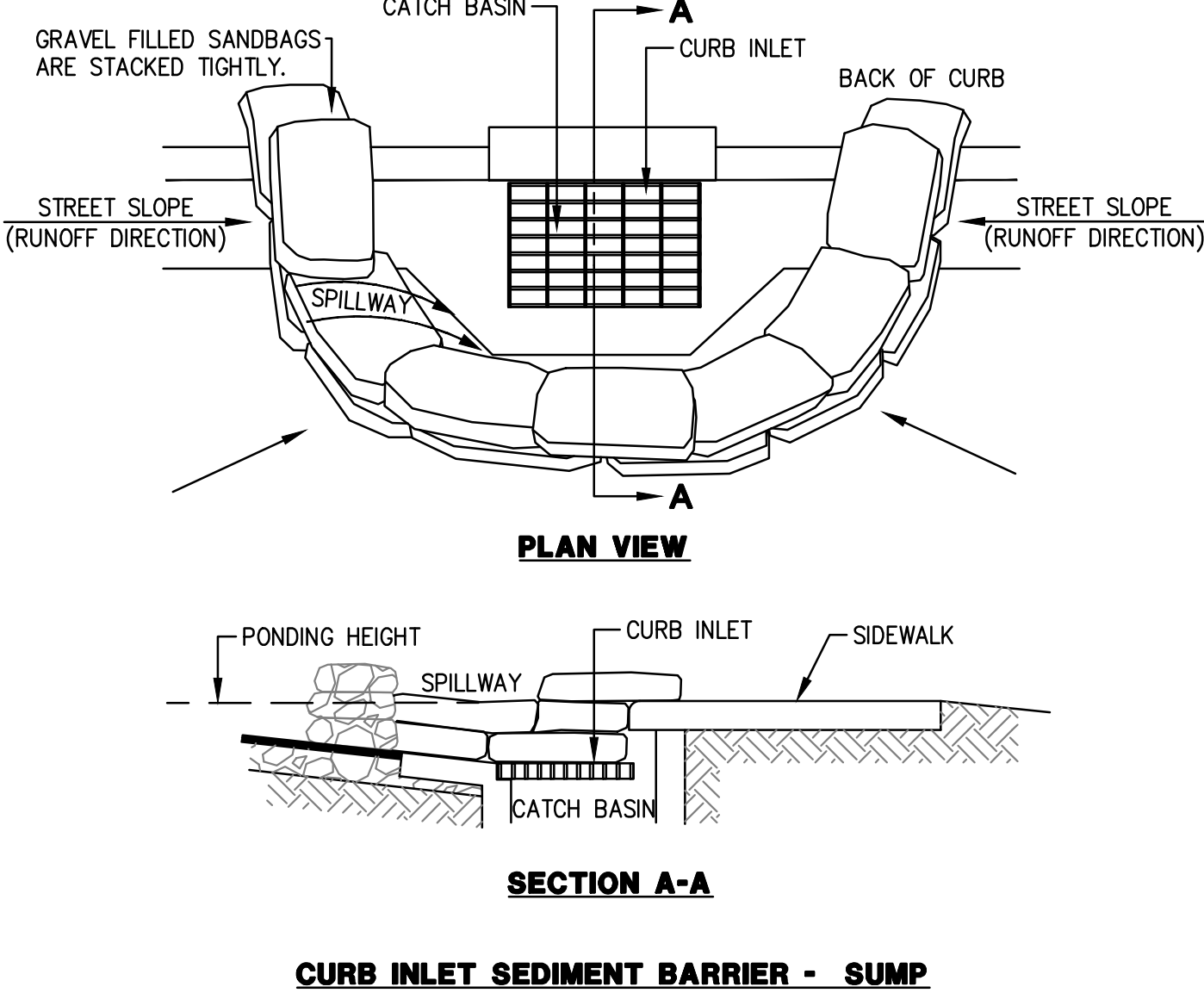
4 SILT FENCE  
NTS



5 GRAVEL BAG BERM  
NTS

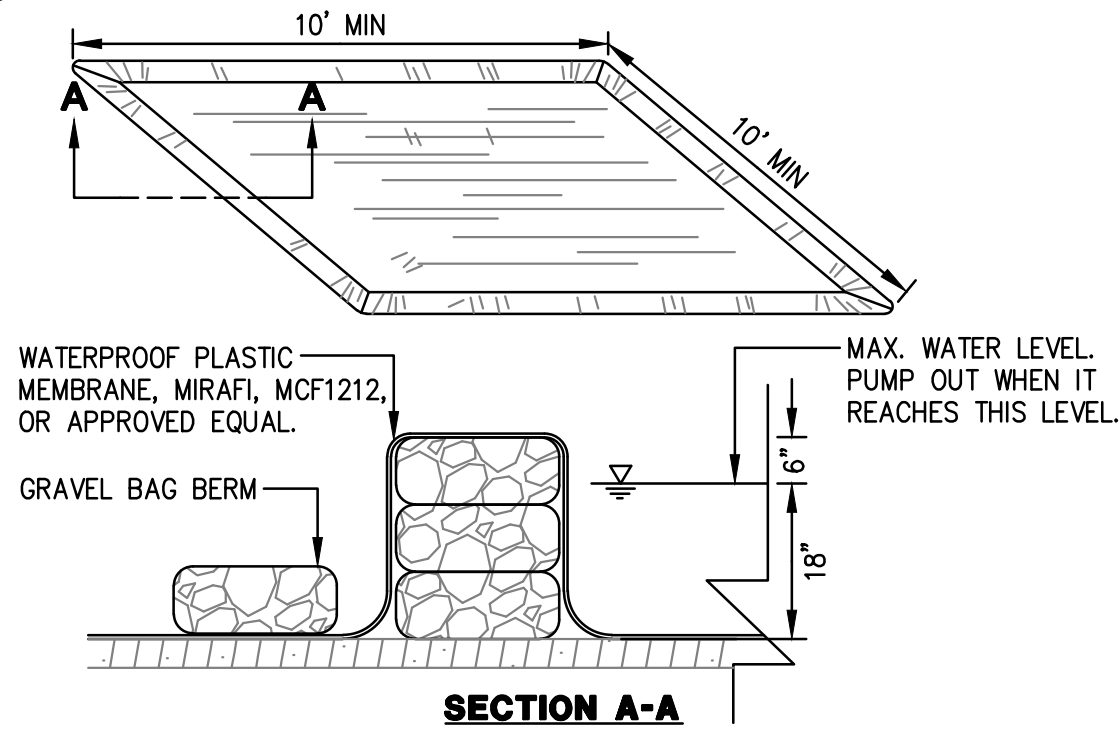


6 STABILIZED CONSTRUCTION ENTRANCE  
NTS

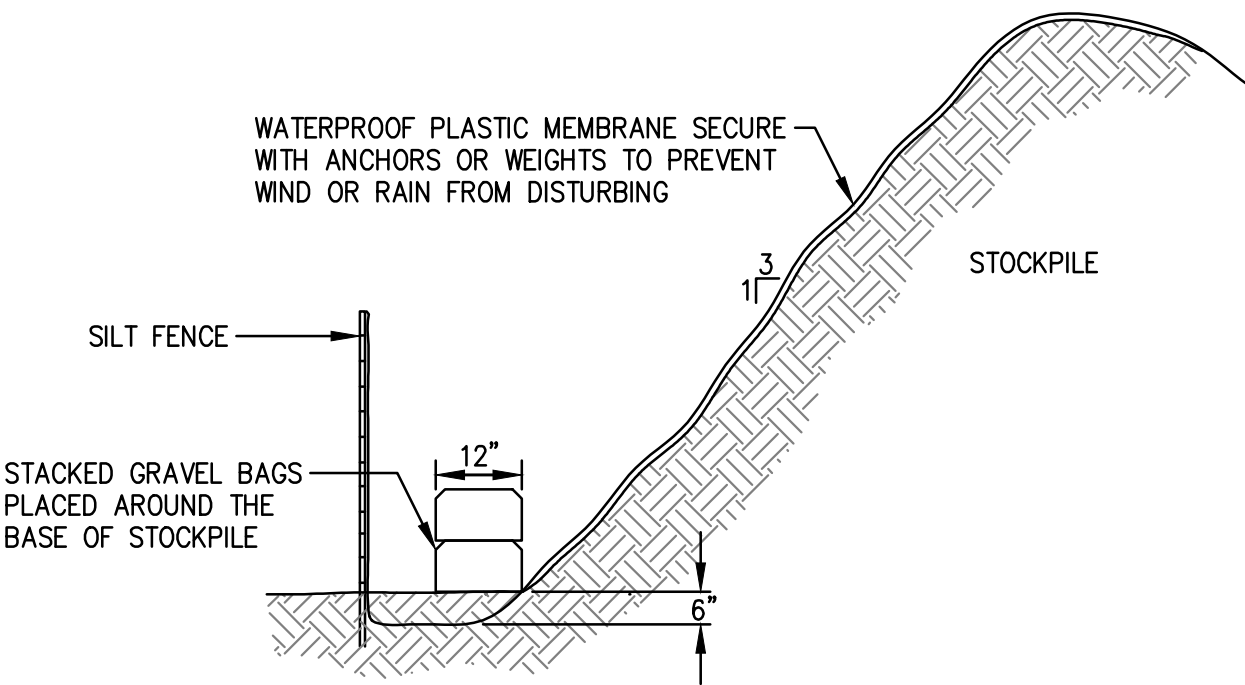


- NOTES:
1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREETS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
  2. SANDBAGS OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
  3. LEAVE ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY OVERFLOW.
  4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT, SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

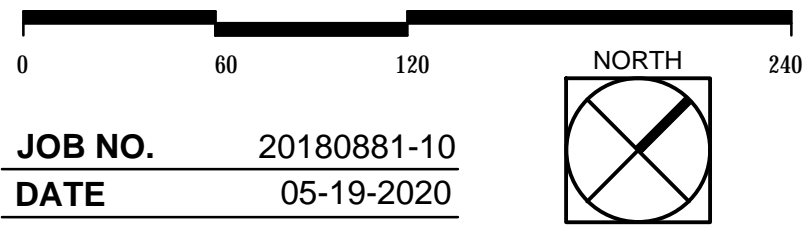
1 INLET PROTECTION  
NTS



2 VEHICLE/EQUIPMENT WASHOUT PIT  
NTS

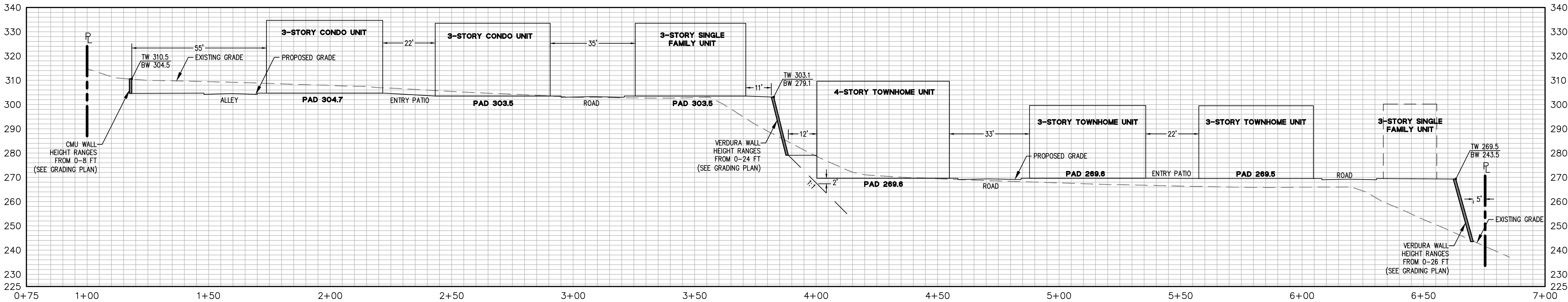


3 STOCKPILE COVERING  
NTS





# SOUTH LOTS SECTION



**PROFILE**  
SCALE: 1" = 20' HORIZ.  
1" = 10' VERT.

DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20  
PLOTTED BY: wort

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

SOUTH LOTS SECTION

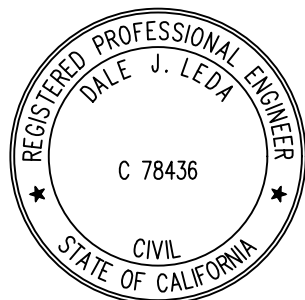


0 20 40 80  
NORTH

**JOB NO.** 20180881-10  
**DATE** 05-19-2020

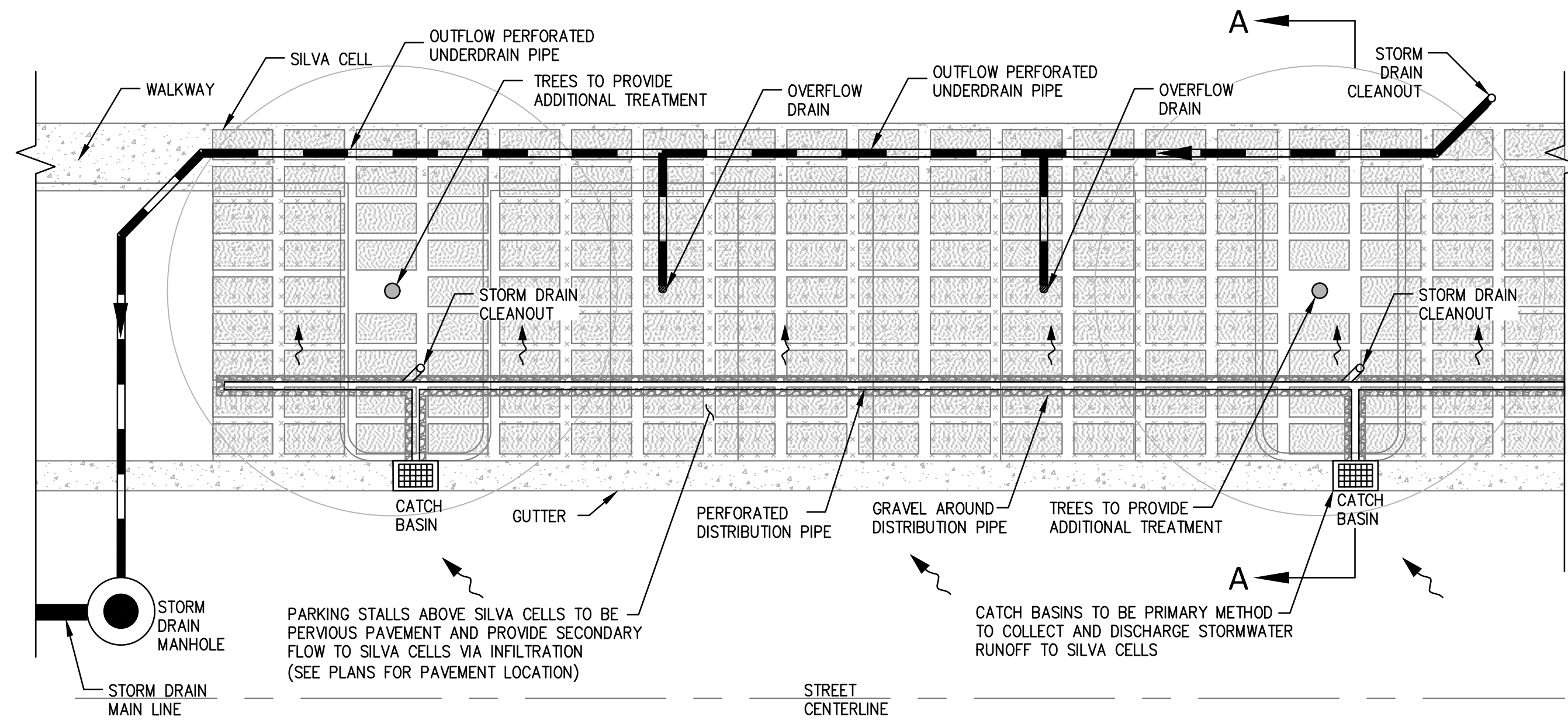
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com

**C16.1**





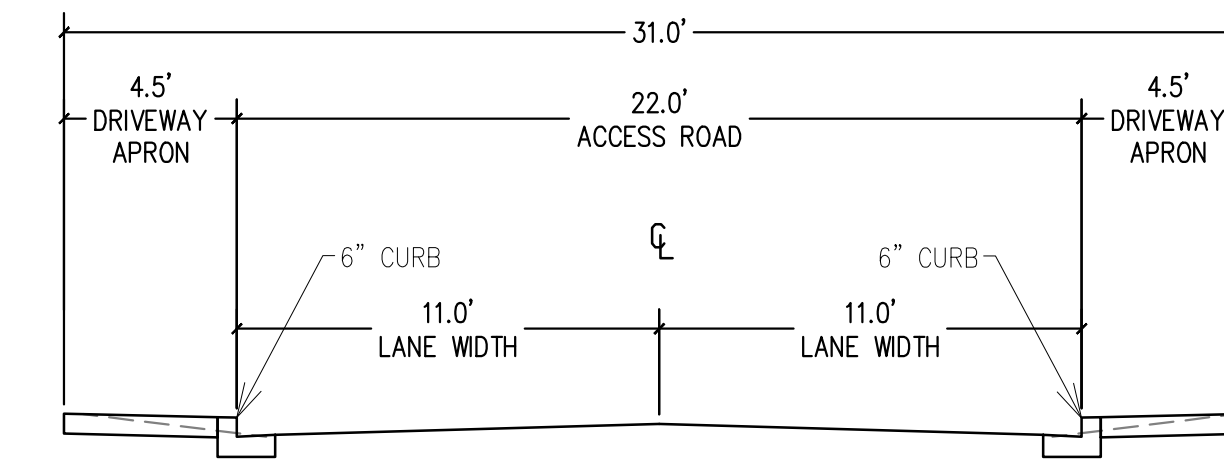
DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort



3  
—

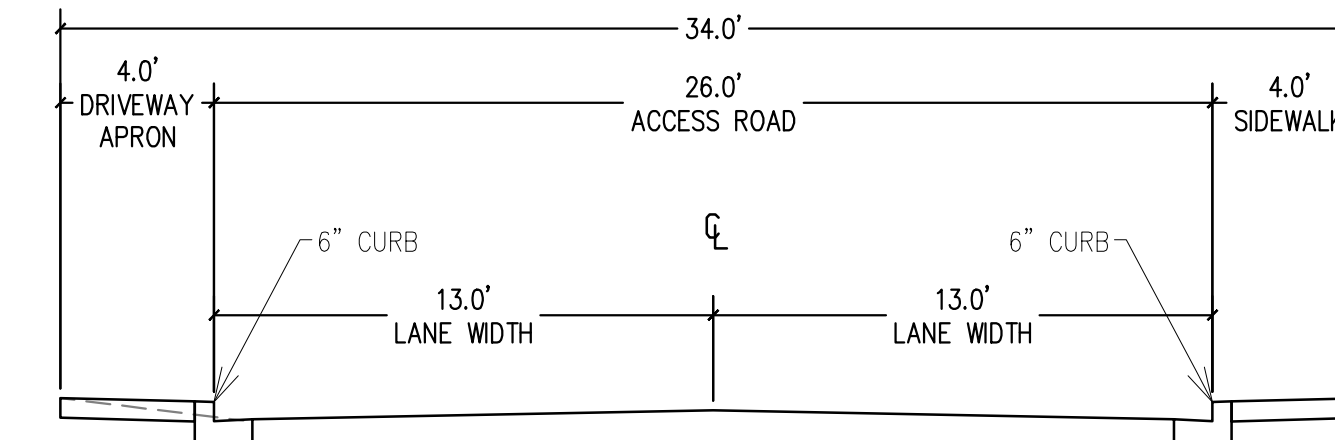
SILVA CELL PLAN VIEW (TYPICAL)

NTS



ALLEY ROAD SECTION

SCALE 1" = 5'



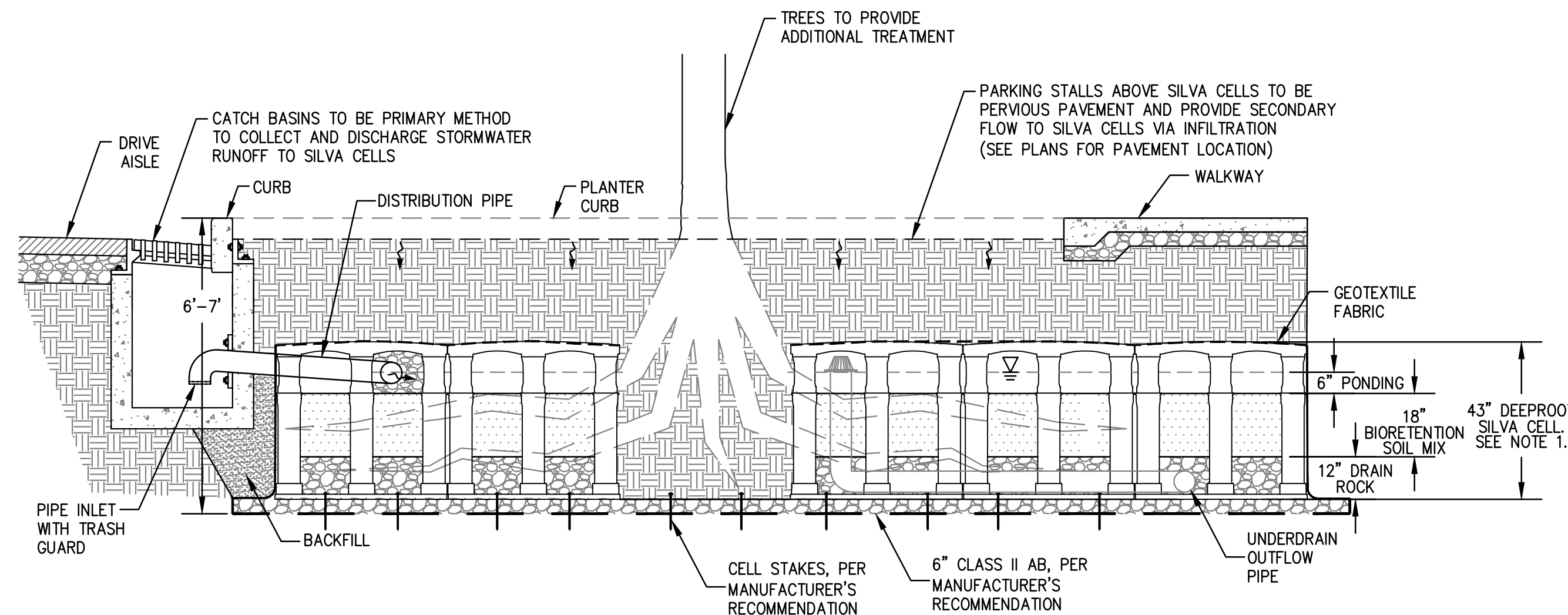
MAIN FIRE ACCESS ROAD SECTION

SCALE 1" = 5'

1  
—

ROAD CROSS SECTIONS

NTS



4  
—

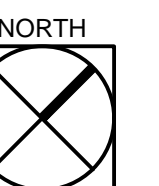
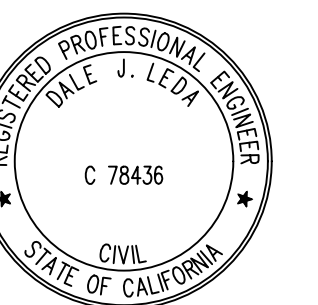
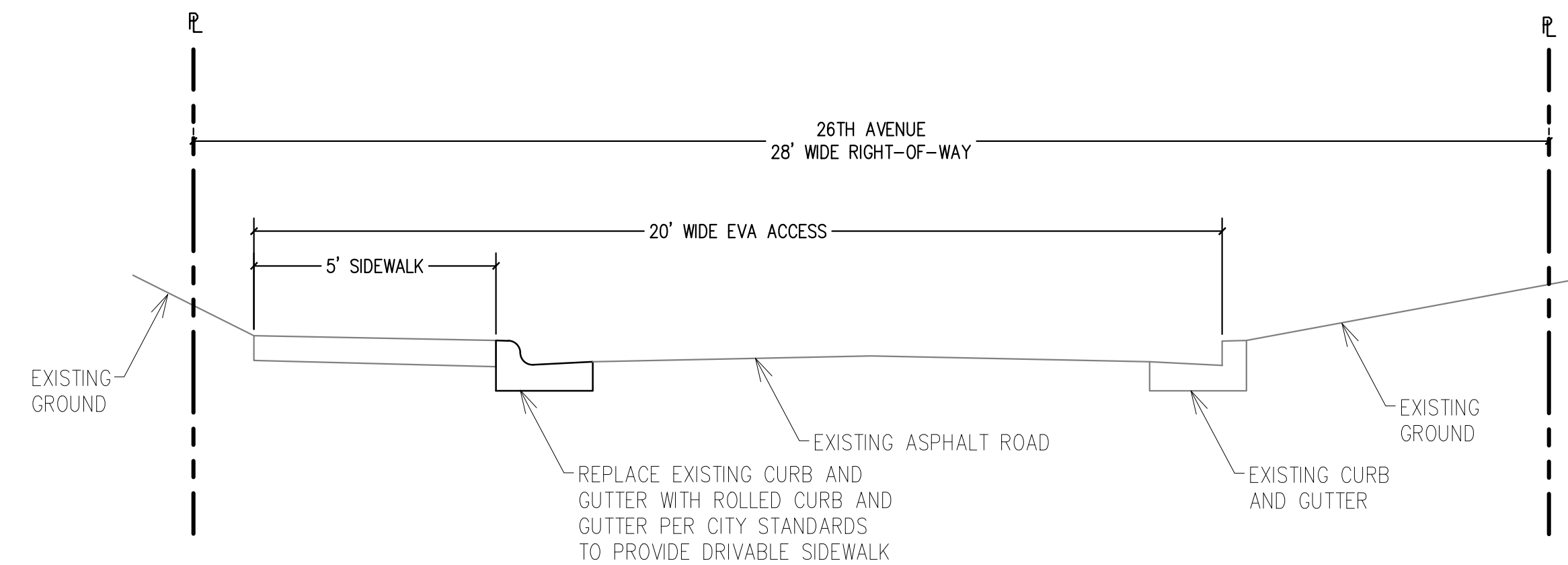
SILVA CELL SECTION A-A (TYPICAL)

NTS

2  
—

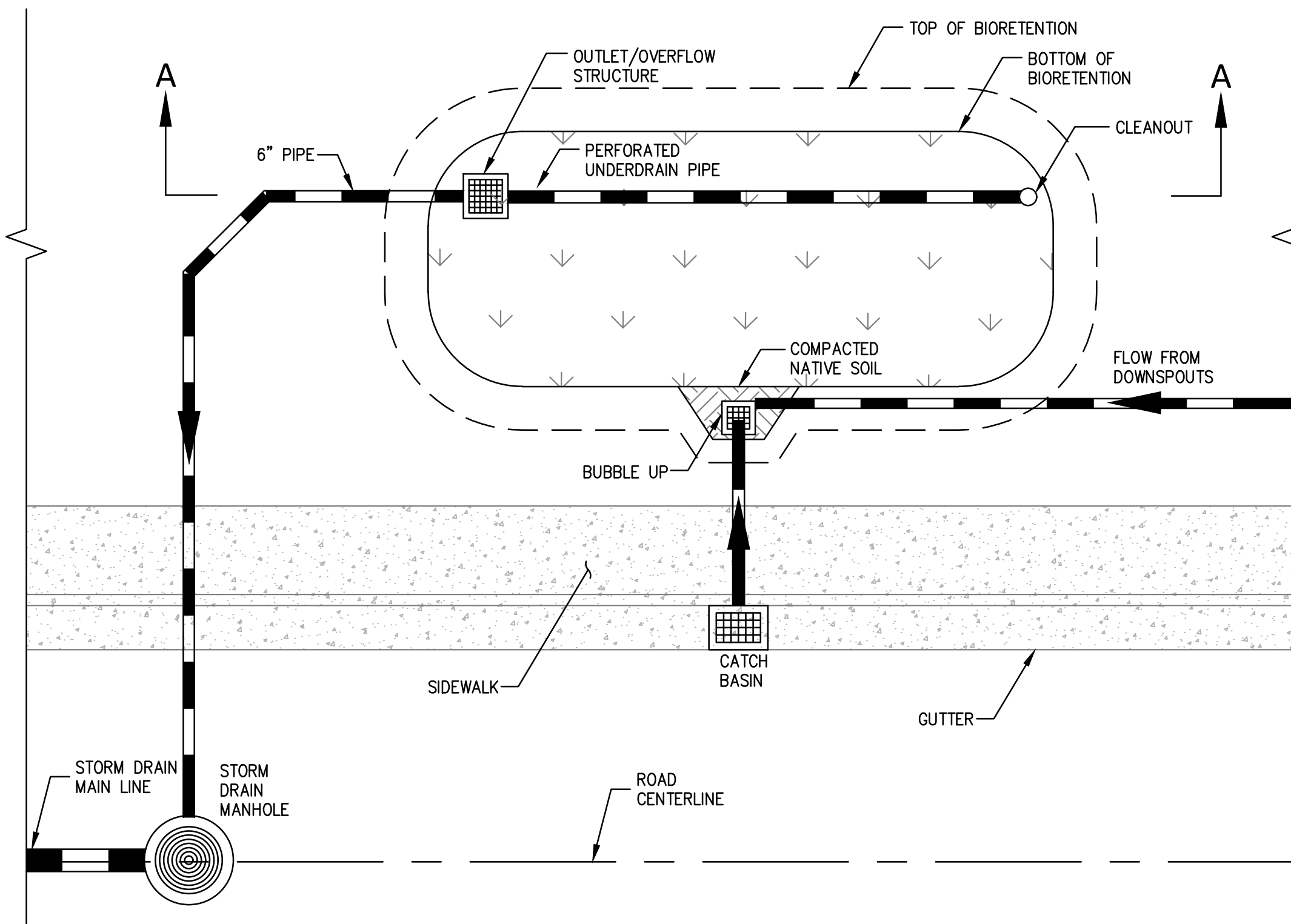
26TH AVENUE EVA CROSS SECTIONS

NTS





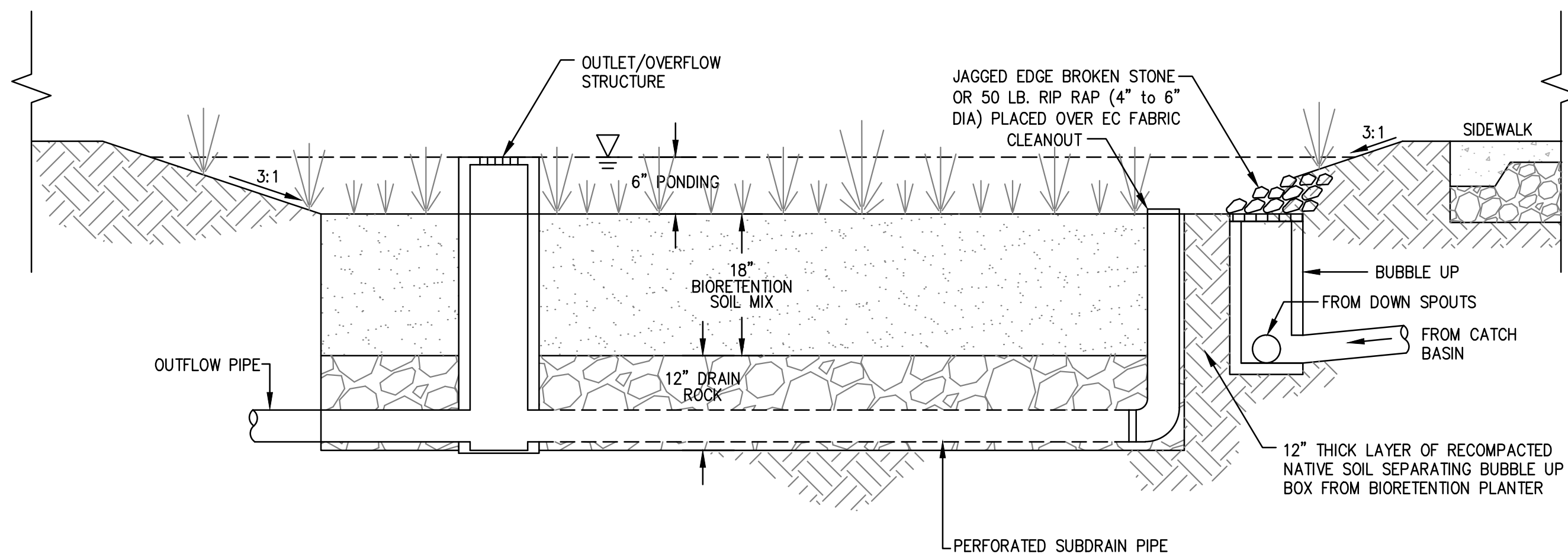
DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort



3  
—

BIORETENTION PLAN VIEW (TYPICAL)

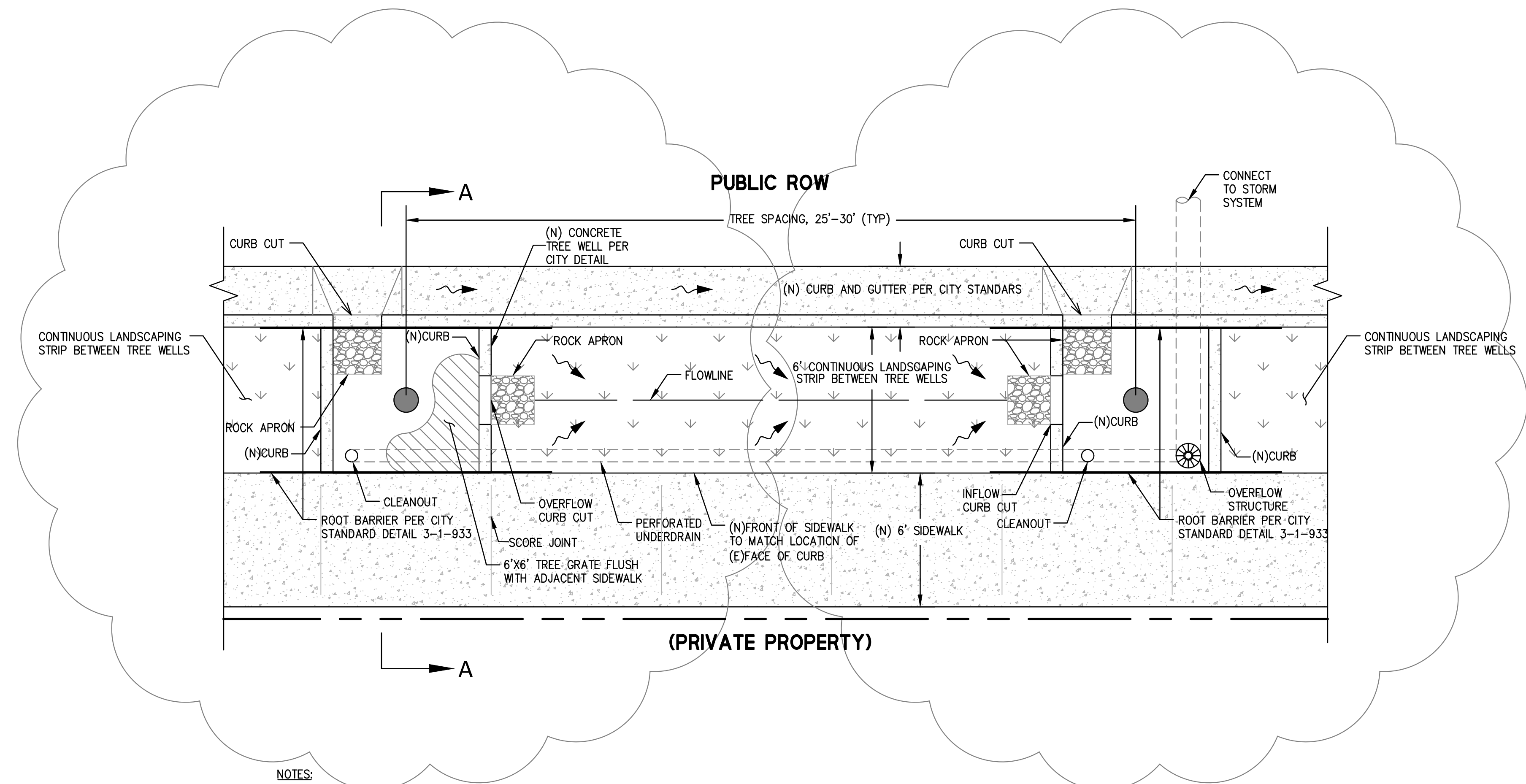
NTS



4  
—

BIORETENTION SECTION A-A (TYPICAL)

NTS



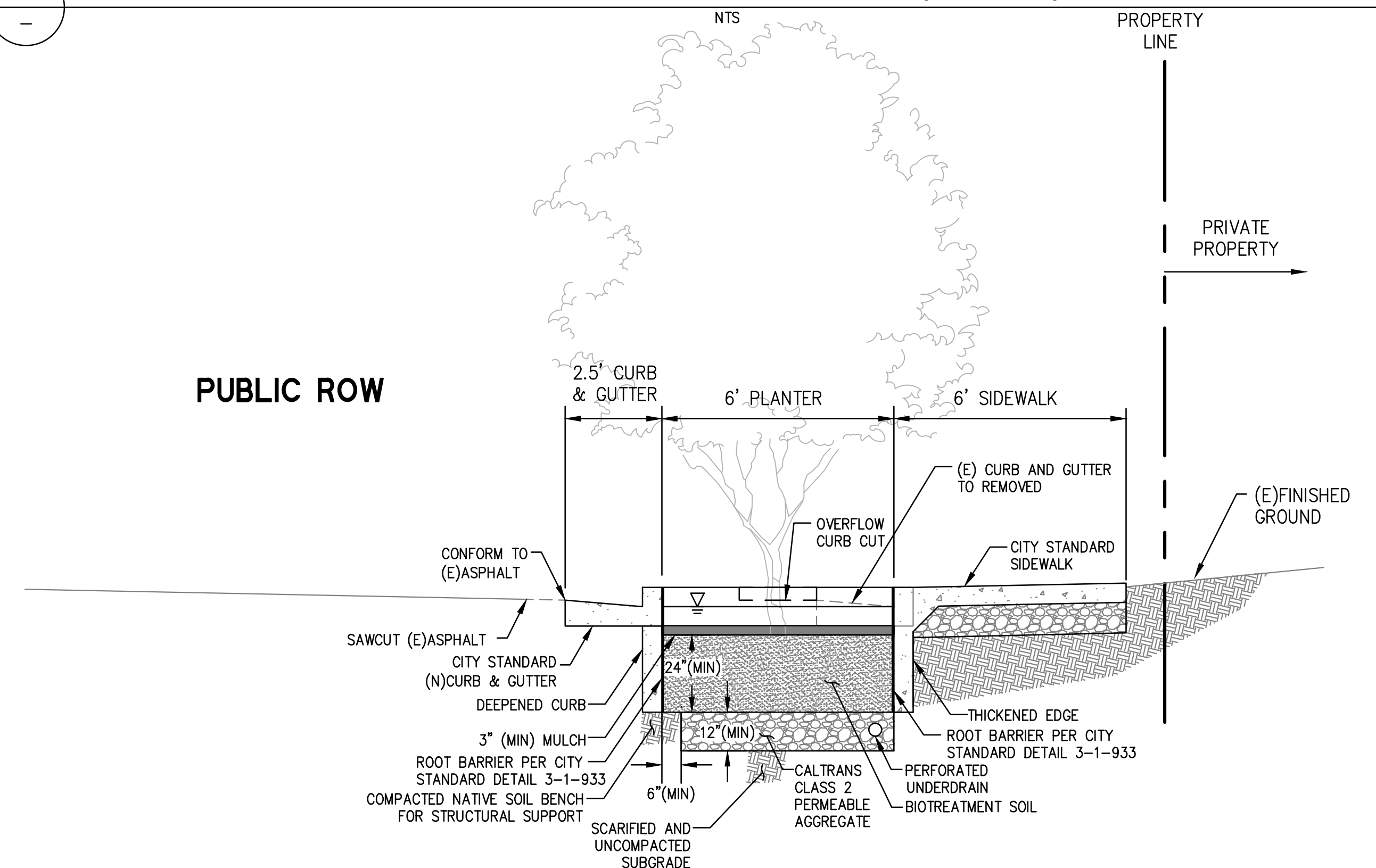
NOTES:

1. THE CONTINUOUS LANDSCAPING STRIP BETWEEN TREE WELLS WILL NOT PROVIDE TREATMENT DUE TO THE STEEP GRADE OF THE STREET AND INABILITY TO CREATE PONDING DEPTHS.

1  
—

GREEN INFRASTRUCTURE PLAN VIEW (TYPICAL)

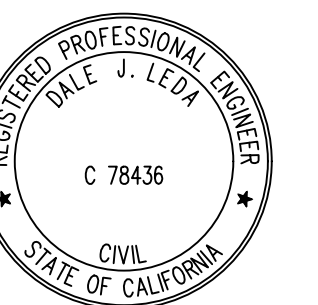
NTS



2  
—

GREEN INFRASTRUCTURE SECTION VIEW (TYPICAL)

NTS



# PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA

## CAMPUS POP INVESTOR, LLC

DETAILS

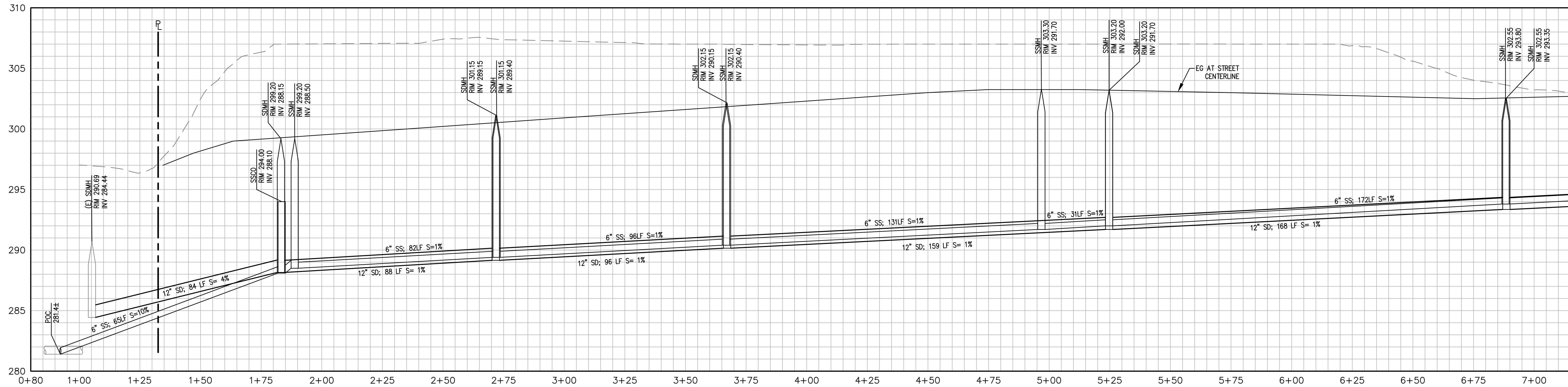


JOB NO. 20180881-10  
DATE 05-19-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com

C16.3

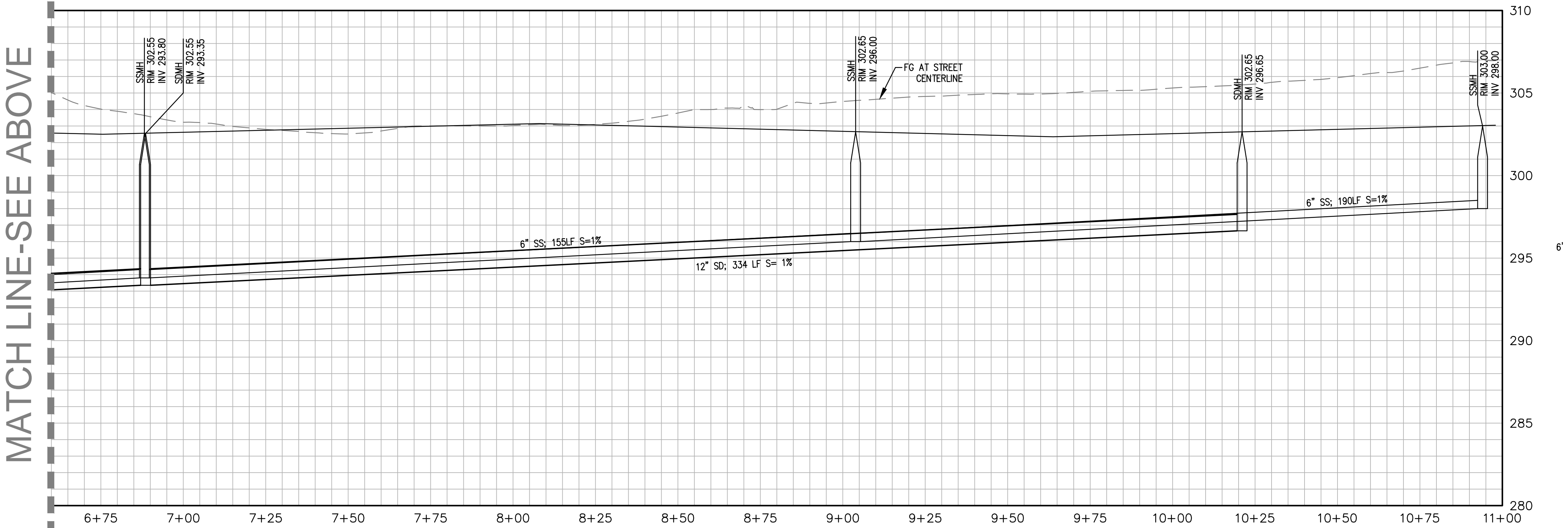


PRIVATE STREET A



IOFILE  
E: 1" = 20' HORIZ.  
1" = 4' VERT.

PRIVATE STREET A



IOFILE  
E: 1" = 20' HORIZ.  
1" = 4' VERT.

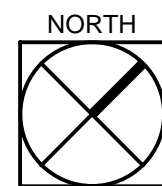
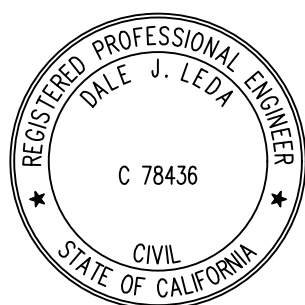
DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

PRIVATE STREETS PROFILE



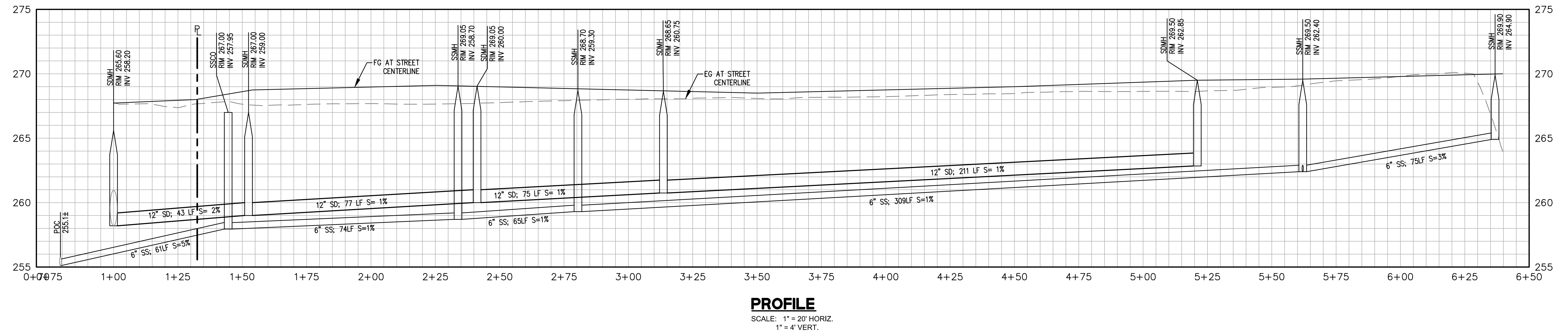
JOB NO. 20180881-10  
DATE 05-19-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com



C16.4



# PRIVATE STREET B



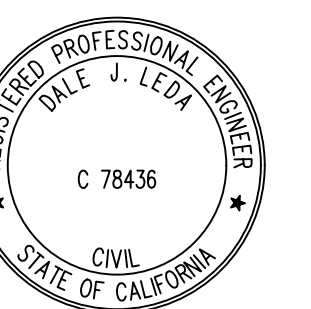
DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

PRIVATE STREETS PROFILE



JOB NO. 20180881-10  
DATE 05-19-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com

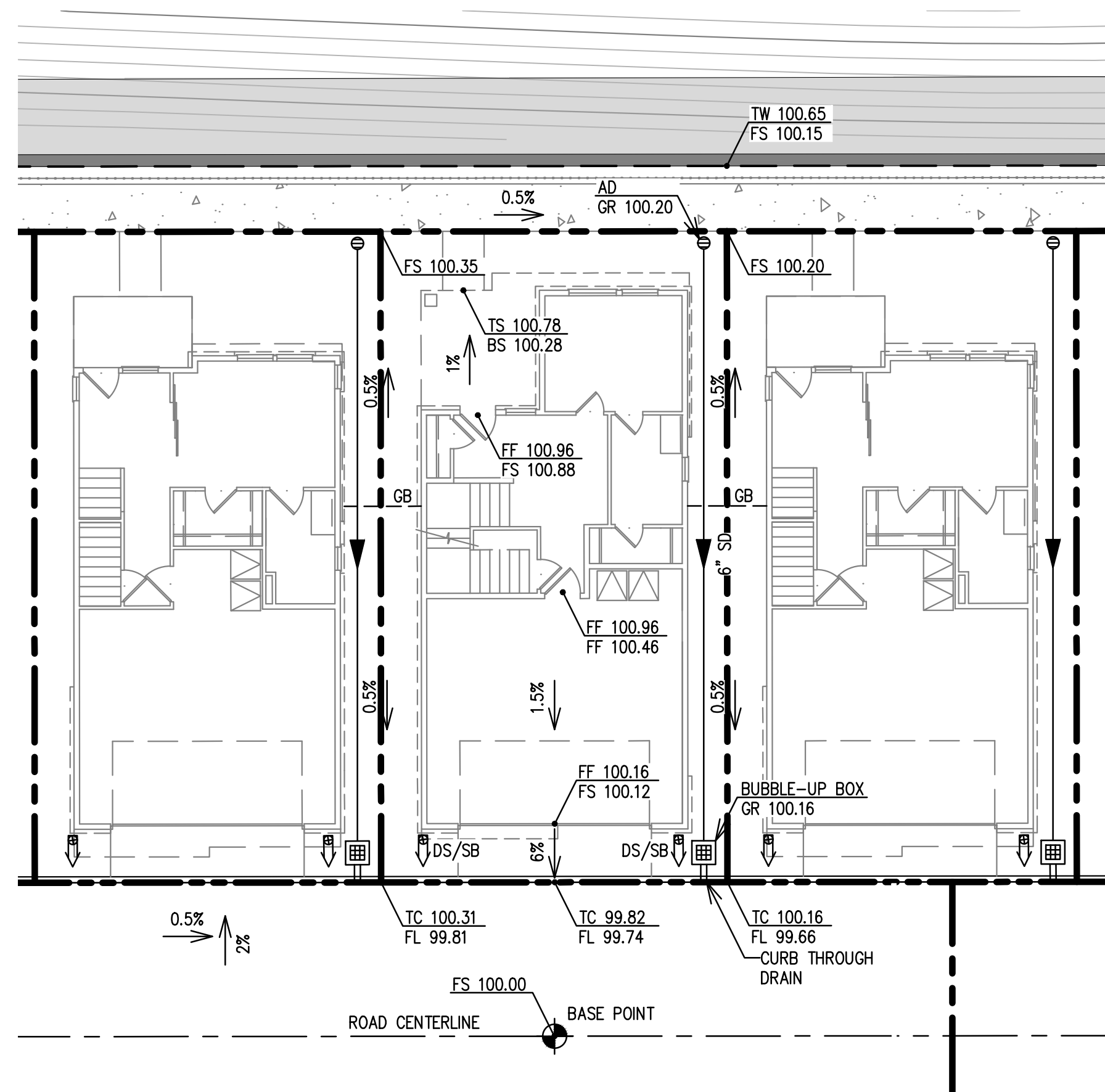


C16.5



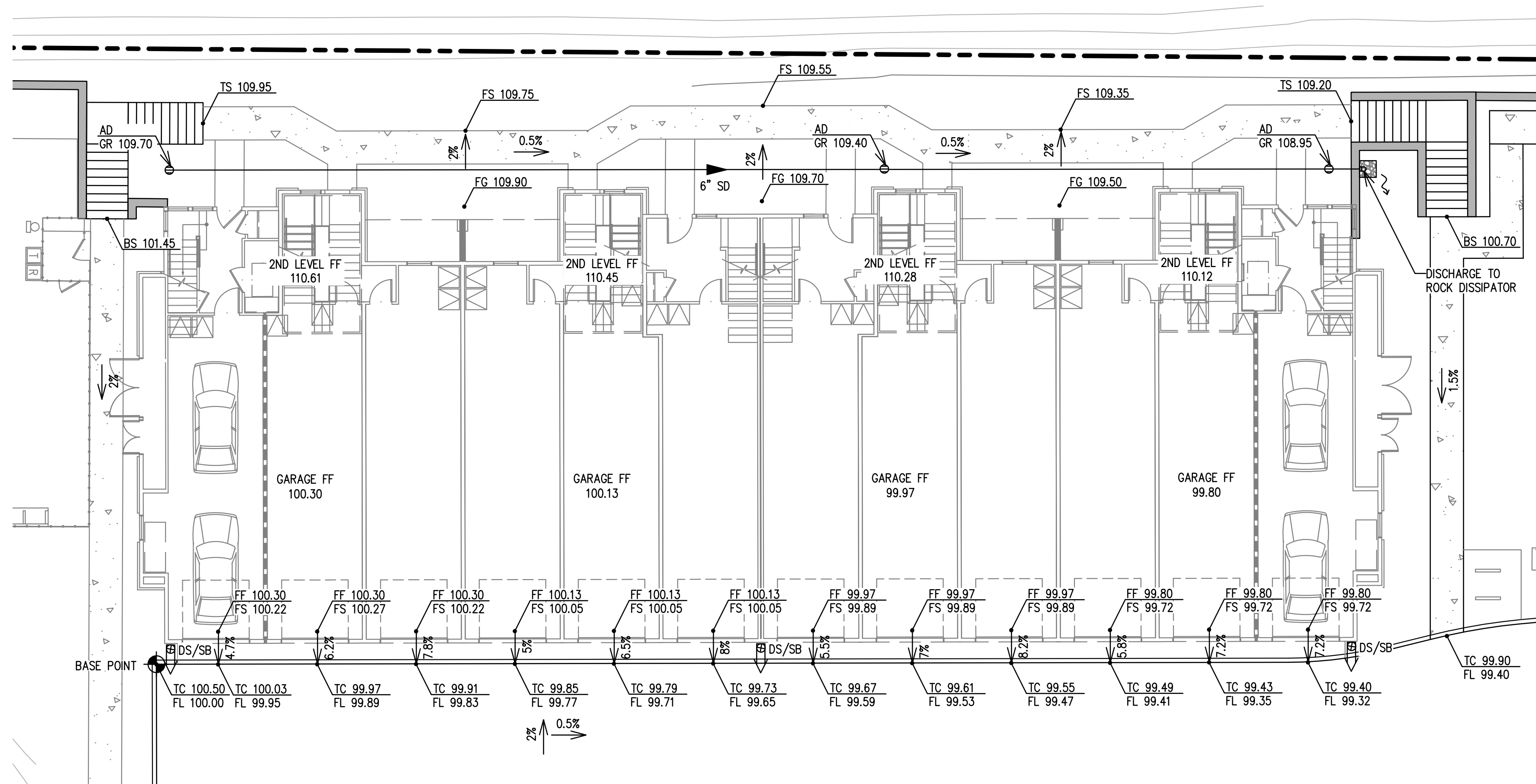






**SINGLE FAMILY DWELLING (DETACHED)**

1" = 10'



**4-STORY TOWNHOME OVER FLATS (2ND LEVEL ENTRY)**

1" = 10'

DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\ENG\_Tentative\_Map\cdpsheets.dwg  
PLOT DATE: 08-14-20 PLOTTED BY: wort

**PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA**  
**CAMPUS POP INVESTOR, LLC**

**SOUTH LOTS UNIT GRADING**

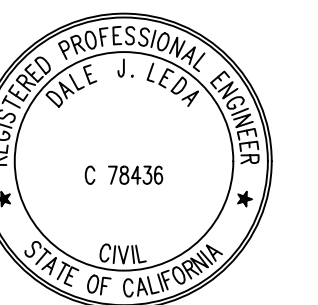


0 20 40 80 NORTH

**JOB NO.** 20180881-10  
**DATE** 05-19-2020

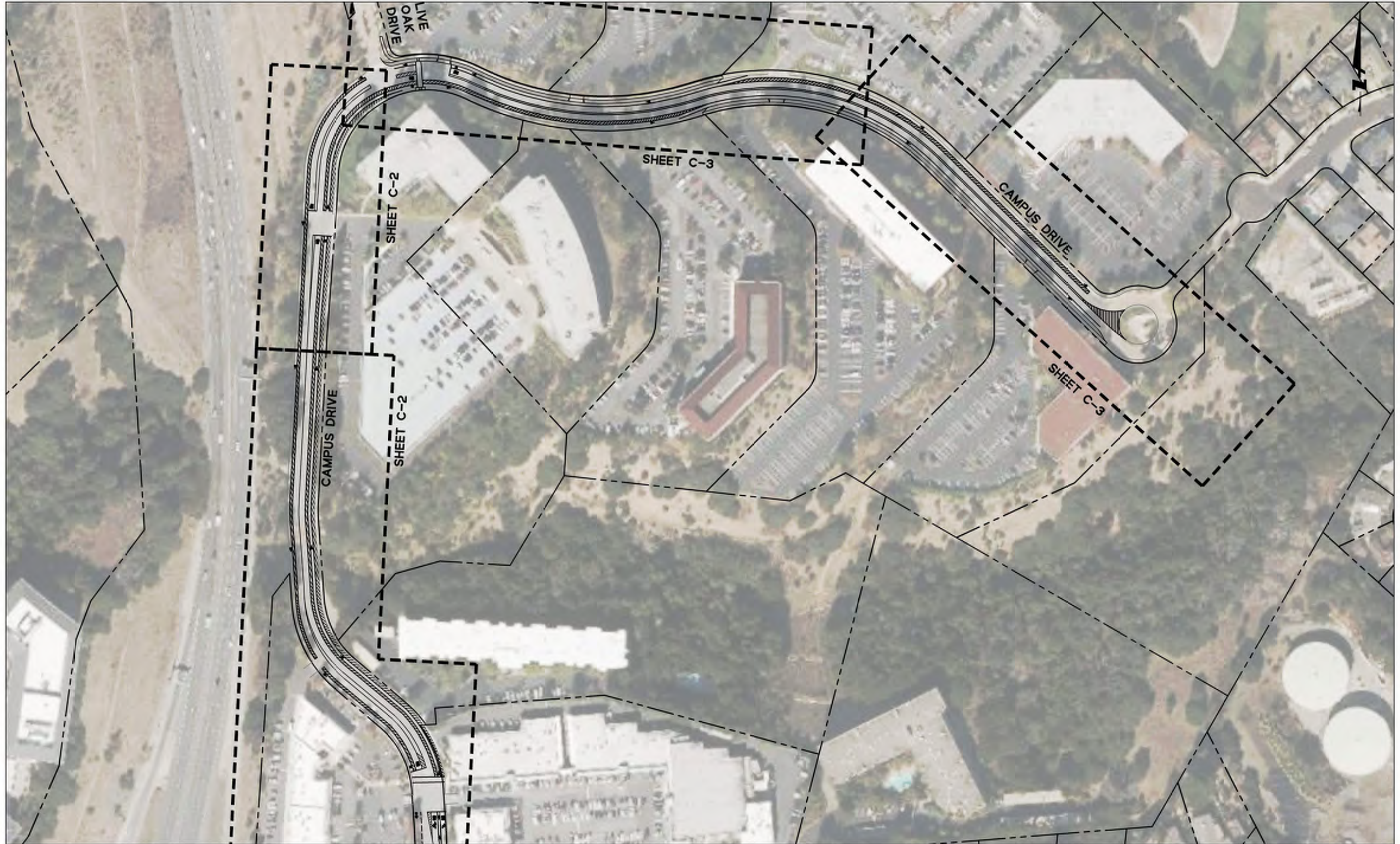
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com

**C16.7**





DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\END\EXHIBITS\2020-08-12\_Road\_Striping\edstripling\_Lto\_Intersection.dwg  
PLOT DATE: 08-13-20 PLOTTED BY: pott



PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

CONCEPTUAL STRIPING PLAN  
CAMPUS DRIVE

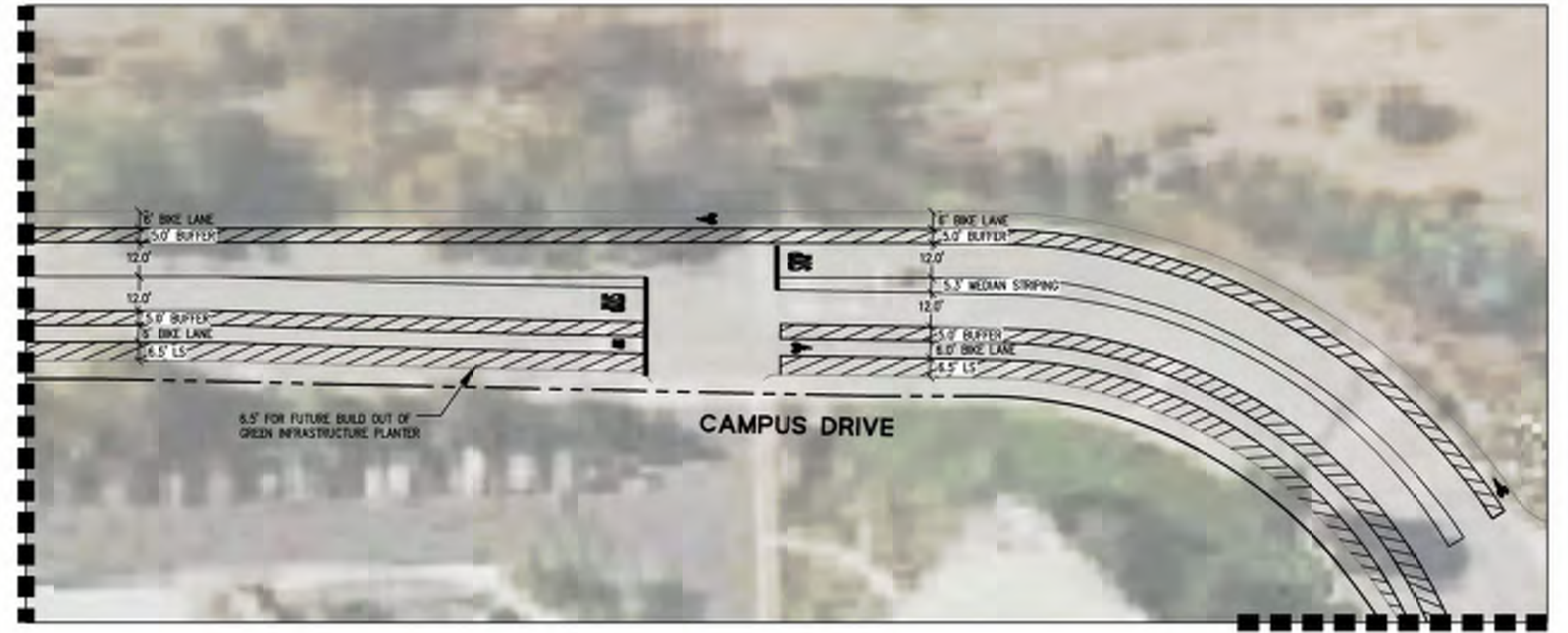
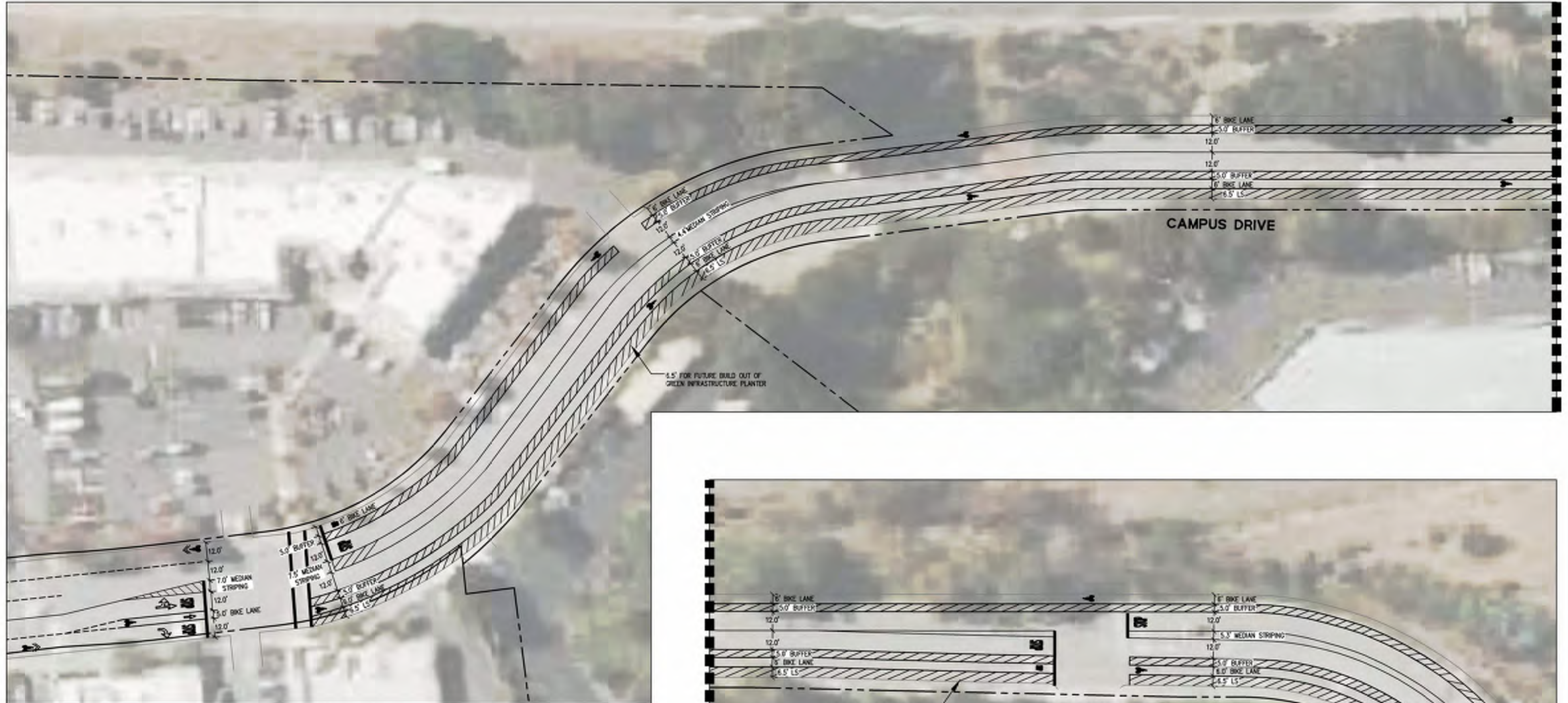
**BKF** 100+  
YEARS  
ENGINEERS . SURVEYORS . PLANNERS

GRAPHIC SCALE  
0 80 160  
JOB NO. 20180881-10  
DATE 08-12-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com

C-1



DRAWING NAME: K:\2018\180881\_Peninsula Heights Office\_Park\END\EXHIBITS\2020-08-12\_Road Striping\Vegetation\Intersection.dwg  
PLOT DATE: 08-13-20 PLOTTED BY: poit



PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

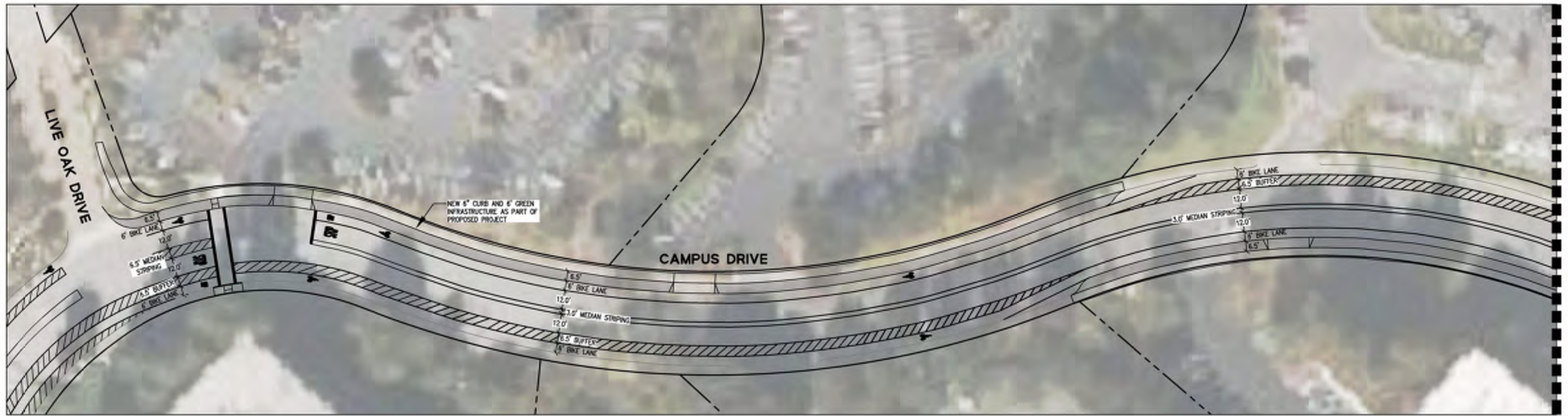
CONCEPTUAL STRIPING PLAN  
CAMPUS DRIVE

**BKF** 100+ YEARS  
ENGINEERS . SURVEYORS . PLANNERS

GRAPHIC SCALE  
0 30 60  
JOB NO. 20180881-10  
DATE 08-12-2020  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com

C-2





DRAWING NAME: K:\2018\180881\_Peninsula\_Office\_Park\END\EXHIBITS\2020-08-12\_Road\_Striping\edstripling\_Lto\_Intersection.dwg  
 PLOT DATE: 08-13-20 PLOTTED BY: poit

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
 CAMPUS POP INVESTOR, LLC

CONCEPTUAL STRIPING PLAN  
 CAMPUS DRIVE

**BKF 100+**  
 YEARS  
 ENGINEERS . SURVEYORS . PLANNERS

GRAPHIC SCALE  
 0 30 60  
 JOB NO. 20180881-10  
 DATE 08-12-2020  
 255 SHORELINE DR.,  
 SUITE 200  
 REDWOOD CITY, CA 94065  
 (650) 482-6300  
 www.bkf.com

C-3



**NORTH PHASE**

**NORTH LOTS**  
ONSITE IMPROVEMENTS

**SOUTH LOTS**  
ONSITE IMPROVEMENTS

**SOUTH PHASE**

**OFFSITE IMPROVEMENTS**

**OFFSITE IMPROVEMENTS**

**FULL BIKE LANE COMPLETED AS PART OF NORTH PHASE**

**CAMPUS DRIVE**

**2.2 ONSITE DEMOLITION**  
**2.3 ONSITE ROUGH GRADING/SURFACE**  
**2.4 OFFSITE UTILITIES AND SURFACE**  
**BOUNDARY INCLUDING GREEN PAVEMENT**  
**LANE**  
**2.5 ONSITE UTILITIES, SURFACE**  
**BUILDING CONSTRUCTION**  
**2.6 OFFSITE DRIVEWAY APRONS**  
**FRONTAGE**  
**2.7 REPAIR ANY PAVING DAMAGE**  
**CAMPUS DRIVE**

**SOUTH PHASE**  
**1.1 ONSITE TREE REMOVAL**  
**1.2 ONSITE DEMOLITION**  
**1.3 ONSITE ROUGH GRADING/SURFACE**  
**1.4 OFFSITE UTILITIES AND SURFACE**  
**INFRASTRUCTURE AND SIDEWALK**  
**(INCLUDING EVA ACCESS IMPROVEMENTS)**  
**1.5 ONSITE UTILITIES, SURFACE**  
**BUILDING CONSTRUCTION**  
**1.6 OFFSITE DRIVEWAY APRONS**  
**TO NORTH/SOUTH PHASE TRANSITION**  
**LAURELWOOD SHOPPING CENTER**  
**1.7 BIKE STRIPING FROM 26TH TO**  
**INCLUDES TEMPORARY BIKE LANE**  
**NORTHERN BOUNDARY**  
**1.8 APPLICANT SHALL BOND FOR**  
**NORTHERN FRONTAGE INCLUDING**  
**FOR PUBLIC IMPROVEMENTS, AND**  
**NORTH FRONTAGE. WORK SHALL**  
**THE FIRST CERTIFICATE OF OCCUPANCY**  
**WORK SHALL BE COMPLETED WITHIN**  
**COMMENCEMENT.**

- 2.1 ONSITE TREE REMOVAL
- 2.2 ONSITE DEMOLITION
- 2.3 ONSITE ROUGH GRADING/SUPERSTRUCTURE/SITE WALLS
- 2.4 OFFSITE UTILITIES AND SURFACE IMPROVEMENTS ALONG NORTHERN BOUNDARY INCLUDING GREEN INFRASTRUCTURE, SIDEWALK, AND BIKE LANE
- 2.5 ONSITE UTILITIES, SURFACE IMPROVEMENTS AND BUILDING CONSTRUCTION
- 2.6 OFFSITE DRIVEWAY APRONS, AC OVERLAY ALONG NORTHERN FRONTAGE
- 2.7 REPAIR ANY PAVING DAMAGE DUE TO CONSTRUCTION ALONG CAMPUS DRIVE

- 1.1 ONSITE TREE REMOVAL**
- 1.2 ONSITE DEMOLITION**
- 1.3 ONSITE ROUGH GRADING/SUPERSTRUCTURE/SITE WALLS**
- 1.4 OFFSITE UTILITIES AND SURFACE IMPROVEMENTS INCLUDING GREEN INFRASTRUCTURE AND SIDEWALK  
(INCLUDING EVA ACCESS IMPROVEMENTS TO 26TH AVE)**
- 1.5 ONSITE UTILITIES, SURFACE IMPROVEMENTS AND BUILDING CONSTRUCTION**
- 1.6 OFFSITE DRIVEWAY APRONS, AC OVERLAY AND STRIPING FROM 26TH TO NORTH/SOUTH PHASE TRANSITION AND FROM LIVE OAK TO LAURELWOOD SHOPPING CENTER EXCLUDING NORTHERN FRONTAGE**
- 1.7 BIKE STRIPING FROM 26TH TO LAURELWOOD SHOPPING CENTER - INCLUDES TEMPORARY BIKE LANE ALONG BOTH SIDES OF THE NORTHERN BOUNDARY**
- 1.8 APPLICANT SHALL BOND FOR PUBLIC IMPROVEMENTS ALONG THE NORTHERN FRONTAGE INCLUDING GREEN INFRASTRUCTURE, UTILITIES FOR PUBLIC IMPROVEMENTS, AND PAVING ON CAMPUS DRIVE ALONG NORTH FRONTAGE. WORK SHALL COMMENCE WITHIN 24-MONTHS OF THE FIRST CERTIFICATE OF OCCUPANCY OF THE SOUTH SITE. SUCH WORK SHALL BE COMPLETED WITHIN 12-MONTHS AFTER COMMENCEMENT.**

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

## CONSTRUCTION PHASING PLAN




0 100 200 400

**JOB NO.** 20180881-10

**DATE** 05-19-2020

255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
[www.bkf.com](http://www.bkf.com)

NORTH



C-4





PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA

CAMPUS POP INVESTOR, LLC

KEY PLAN **JETT**  
LANDSCAPE ARCHITECTURE + DESIGN

JOB NO. 1483.001  
DATE 08-13-20  
2 Theatre Sq., Ste 218  
Orinda, Ca 94563  
925-254-5422



L0.00





**LEGEND:**

- EXISTING ONSITE TREE TO REMAIN, SEE ARBORIST REPORT AND TREE PROTECTION PLANS FOR MORE INFORMATION
- EXISTING OFFSITE TREE TO REMAIN, SEE ARBORIST REPORT AND TREE PROTECTION PLANS FOR MORE INFORMATION
- EXISTING TREE OVER 6" CALIPER TO BE REMOVED, SEE ARBORIST REPORT FOR MORE INFORMATION
- EXISTING HERITAGE TREE TO BE REMOVED, SEE ARBORIST REPORT FOR MORE INFORMATION
- TREE PROTECTION FENCING, SEE DETAIL 1/L0.01; REFER TO TREE PROTECTION PLAN BY TRAVERSO TREE SERVICE DATED FEBRUARY 6, 2020 (REVISED 7/9/2020) FOR MORE INFORMATION

**TREE REPLACEMENT REQUIREMENTS**

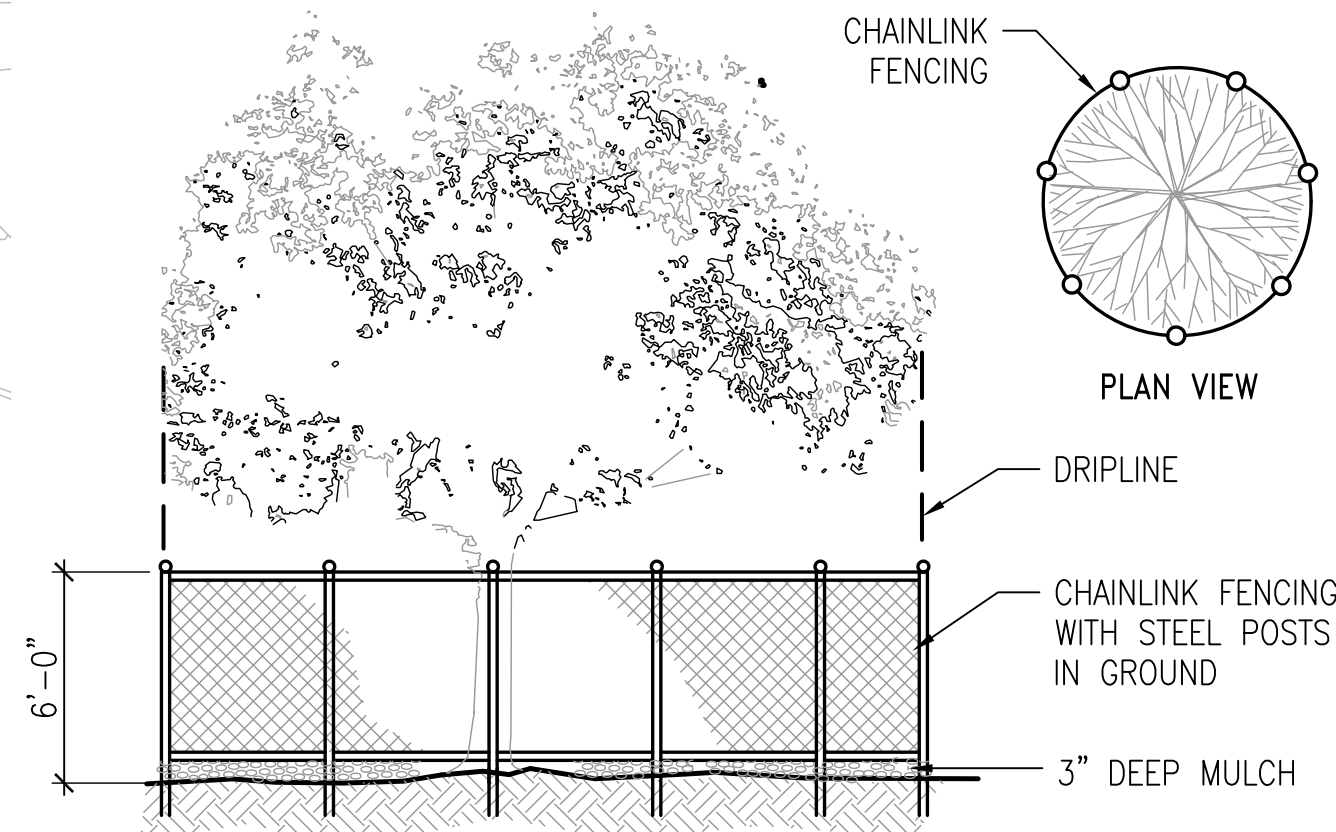
SAN MATEO DEFINES A HERITAGE TREE AS:

- ANY BAY (UMBELLULARIA CALIFORNICA), BUCKEYE (AESCLUSUS SPP.), OAK (QUERCUS SPP.), CEDAR (CEDRUS) OR REDWOOD (SEQUOIA) TREE THAT HAS A DIAMETER OF TEN (10) INCHES OR MORE MEASURED AT FORTY-EIGHT (48) INCHES ABOVE NATURAL GRADE.
- ANY OTHER TREE WITH A TRUNK DIAMETER OF SIXTEEN (16) INCHES OR MORE, MEASURED AT FORTY-EIGHT (48) INCHES ABOVE NATURAL GRADE.
- ANY TREE OR STAND OF TREES DESIGNATED BY RESOLUTION OF THE CITY COUNCIL TO BE OF SPECIAL HISTORICAL VALUE OR OF SIGNIFICANT COMMUNITY BENEFIT.
- A STAND OF TREES, THE NATURE OF WHICH MAKES EACH DEPENDENT ON THE OTHERS FOR SURVIVAL.

NORTH AND SOUTH PARCEL NON-HERITAGE TREES TO BE REMOVED	184
NORTH AND SOUTH PARCEL HERITAGE TREES TO BE REMOVED	144

NOTES:

1. REFER TO ARBORIST REPORT FROM TRAVERSO TREE SERVICE DATED FEBRUARY 6, 2020 (REVISED 7/9/2020) FOR MORE INFORMATION.
2. ALLOWABLE BUILDING AREA IS SITE AREA WITHIN BUILDING SETBACKS.
3. SEE SHEET L3.00 FOR PROPOSED LANDSCAPE UNIT VALUES AND REQUIRED TREE PLANTING CALCULATIONS.
4. SEE SHEETS L3.01-L3.03 FOR REPLACEMENT TREE LOCATIONS.

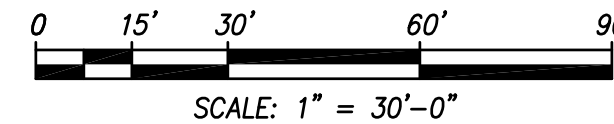


**1 TREE PROTECTION FENCING**  
SCALE: 3/16" = 1'

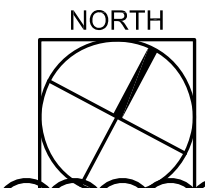
# PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA

CAMPUS POP INVESTOR, LLC

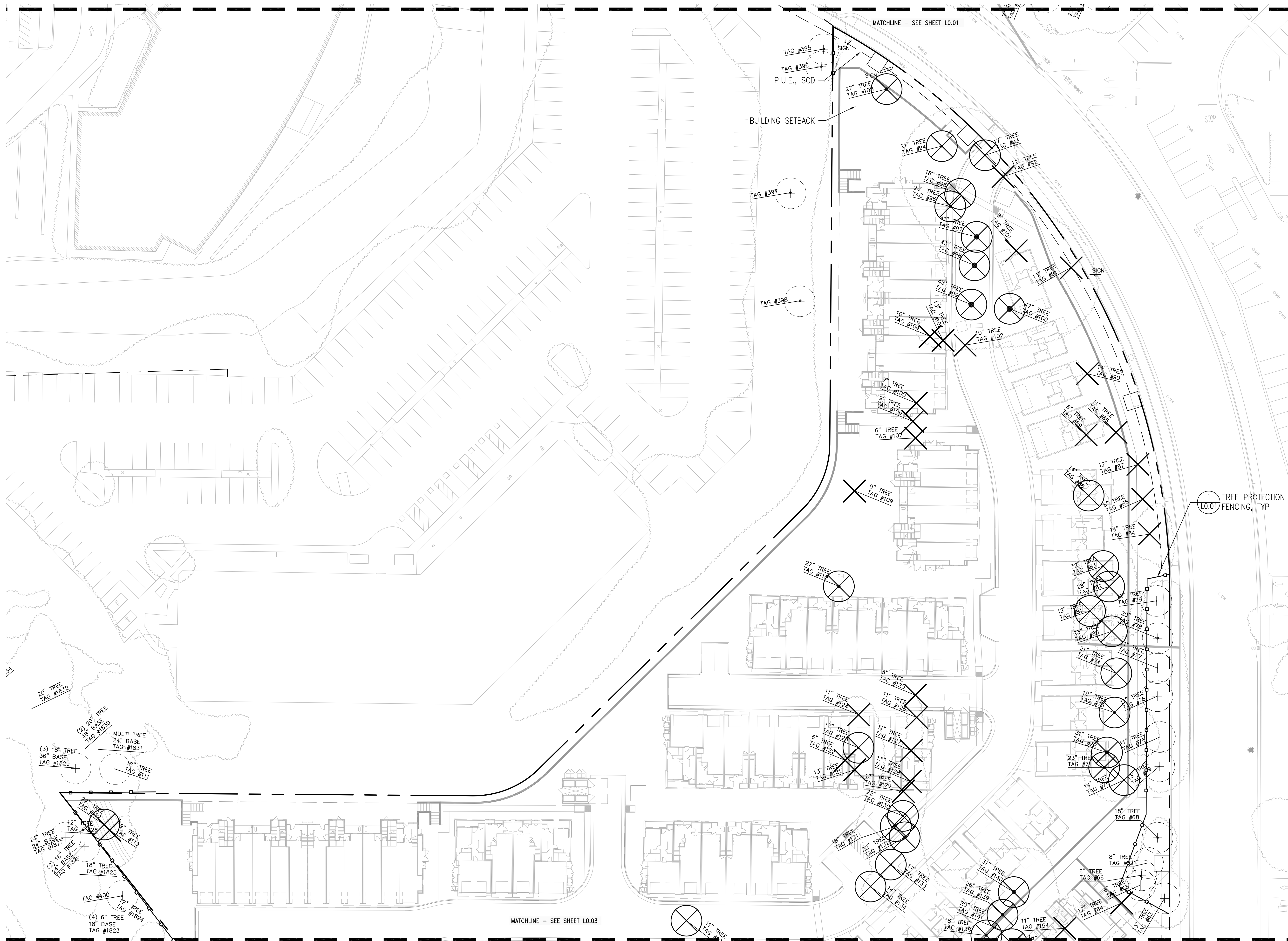
# TREE REMOVAL AND MITIGATION PLAN - NORTH PARCEL



**JOB NO.** 1483.001  
**DATE** 08-13-20  
2 Theatre Sq., Ste 218  
Orinda, Ca 94563  
925-254-5422





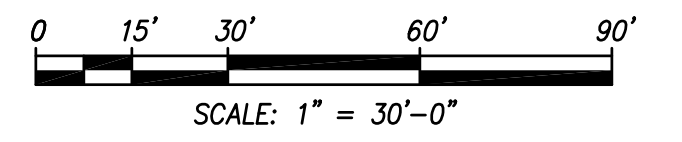


**LEGEND:**

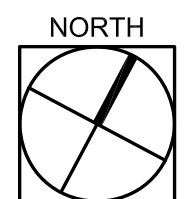
- EXISTING ONSITE TREE TO REMAIN, SEE ARBORIST REPORT AND TREE PROTECTION PLANS FOR MORE INFORMATION
- EXISTING OFFSITE TREE TO REMAIN, SEE ARBORIST REPORT AND TREE PROTECTION PLANS FOR MORE INFORMATION
- EXISTING TREE OVER 6" CALIPER TO BE REMOVED, SEE ARBORIST REPORT FOR MORE INFORMATION
- EXISTING HERITAGE TREE TO BE REMOVED, SEE ARBORIST REPORT FOR MORE INFORMATION
- TREE PROTECTION FENCING, SEE DETAIL 1/L0.01; REFER TO TREE PROTECTION PLAN BY TRAVERSO TREE SERVICE DATED FEBRUARY 6, 2020 (REVISED 7/9/2020) FOR MORE INFORMATION

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

TREE REMOVAL AND MITIGATION PLAN  
- SOUTH PARCEL

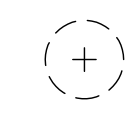
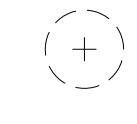

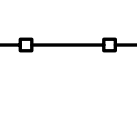



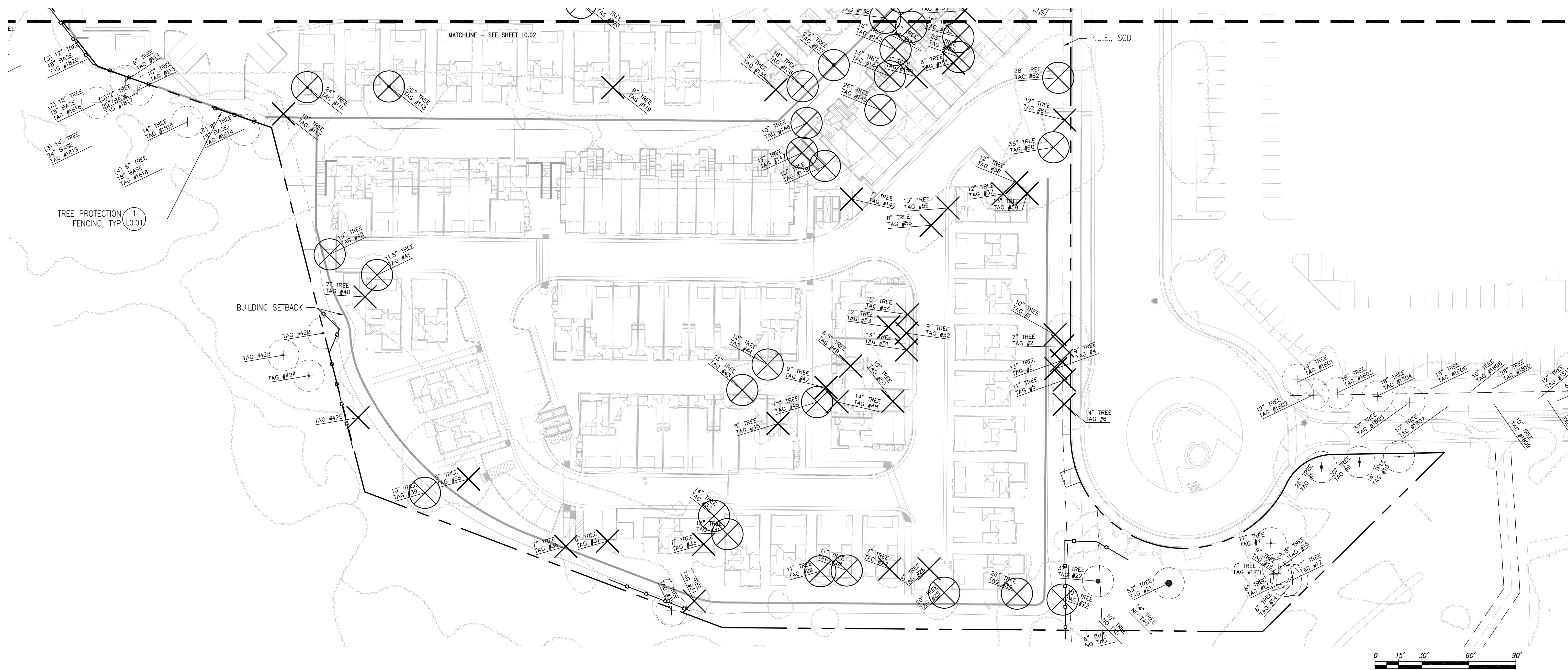
JOB NO. 1483.001  
DATE 08-13-20  
2 Theatre Sq., Ste 218  
Orinda, Ca 94563  
925-254-5422






**LEGEND:**

-  EXISTING ONSITE TREE TO REMAIN, SEE ARBORIST REPORT AND TREE PROTECTION PLANS FOR MORE INFORMATION
-  EXISTING OFFSITE TREE TO REMAIN, SEE ARBORIST REPORT AND TREE PROTECTION PLANS FOR MORE INFORMATION
-  EXISTING TREE OVER 6" CALIPER TO BE REMOVED, SEE ARBORIST REPORT FOR MORE INFORMATION
-  EXISTING HERITAGE TREE TO BE REMOVED, SEE ARBORIST REPORT FOR MORE INFORMATION
-  TREE PROTECTION FENCING, SEE DETAIL 1/LO.01; REFER TO TREE PROTECTION PLAN BY TRAVERSO TREE SERVICE DATED FEBRUARY 6, 2020 (REVISED 7/9/2020) FOR MORE INFORMATION



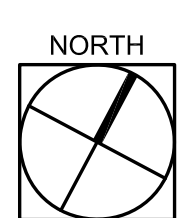
PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

TREE REMOVAL AND MITIGATION PLAN  
- SOUTH PARCEL



**JETT**  
LANDSCAPE ARCHITECTURE + DESIGN

**JOB NO.** 1483.001  
**DATE** 08-13-20  
2 Theatre Sq., Ste 218  
Orinda, Ca 94563  
925-254-5422

  
**L0.03**



# PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA

CAMPUS POP INVESTOR, LLC

# TREE EVALUATION SCHEDULE



JOB NO. 1483.001

DATE 08-13-20

2 Theatre Sq., Ste 218  
Orinda, Ca 94563  
925-254-5422

L0.04

ID	Species Name	File Path/Notes	Species Value	Condition	Location	DBH	Height	Canopy Size (sq ft)	0-10 ft	11-15 ft	LU Value
1	Redwood	Forest	10	1	1	1	1	1	1	1	1
2	Redwood	Forest	10	1	1	1	1	1	1	1	1
3	Redwood	Forest	10	1	1	1	1	1	1	1	1
4	Redwood	Forest	10	1	1	1	1	1	1	1	1
5	Redwood	Forest	10	1	1	1	1	1	1	1	1
6	Redwood	Forest	10	1	1	1	1	1	1	1	1
7	Redwood	Forest	10	1	1	1	1	1	1	1	1
8	Redwood	Forest	10	1	1	1	1	1	1	1	1
9	Redwood	Forest	10	1	1	1	1	1	1	1	1
10	Redwood	Forest	10	1	1	1	1	1	1	1	1
11	Redwood	Forest	10	1	1	1	1	1	1	1	1
12	Redwood	Forest	10	1	1	1	1	1	1	1	1
13	Redwood	Forest	10	1	1	1	1	1	1	1	1
14	Redwood	Forest	10	1	1	1	1	1	1	1	1
15	Redwood	Forest	10	1	1	1	1	1	1	1	1
16	Redwood	Forest	10	1	1	1	1	1	1	1	1
17	Redwood	Forest	10	1	1	1	1	1	1	1	1
18	Redwood	Forest	10	1	1	1	1	1	1	1	1
19	Redwood	Forest	10	1	1	1	1	1	1	1	1
20	Redwood	Forest	10	1	1	1	1	1	1	1	1
21	Redwood	Forest	10	1	1	1	1	1	1	1	1
22	Redwood	Forest	10	1	1	1	1	1	1	1	1
23	Redwood	Forest	10	1	1	1	1	1	1	1	1
24	Redwood	Forest	10	1	1	1	1	1	1	1	1
25	Redwood	Forest	10	1	1	1	1	1	1	1	1
26	Redwood	Forest	10	1	1	1	1	1	1	1	1
27	Redwood	Forest	10	1	1	1	1	1	1	1	1
28	Redwood	Forest	10	1	1	1	1	1	1	1	1
29	Redwood	Forest	10	1	1	1	1	1	1	1	1
30	Redwood	Forest	10	1	1	1	1	1	1	1	1
31	Redwood	Forest	10	1	1	1	1	1	1	1	1
32	Redwood	Forest	10	1	1	1	1	1	1	1	1
33	Redwood	Forest	10	1	1	1	1	1	1	1	1
34	Redwood	Forest	10	1	1	1	1	1	1	1	1
35	Redwood	Forest	10	1	1	1	1	1	1	1	1
36	Redwood	Forest	10	1	1	1	1	1	1	1	1
37	Redwood	Forest	10	1	1	1	1	1	1	1	1
38	Redwood	Forest	10	1	1	1	1	1	1	1	1
39	Redwood	Forest	10	1	1	1	1	1	1	1	1
40	Redwood	Forest	10	1	1	1	1	1	1	1	1
41	Redwood	Forest	10	1	1	1	1	1	1	1	1
42	Redwood	Forest	10	1	1	1	1	1	1	1	1
43	Redwood	Forest	10	1	1	1	1	1	1	1	1
44	Redwood	Forest	10	1	1	1	1	1	1	1	1
45	Redwood	Forest	10	1	1	1	1	1	1	1	1
46	Redwood	Forest	10	1	1	1	1	1	1	1	1
47	Redwood	Forest	10	1	1	1	1	1	1	1	1
48	Redwood	Forest	10	1	1	1	1	1	1	1	1
49	Redwood	Forest	10	1	1	1	1	1	1	1	1
50	Redwood	Forest	10	1	1	1	1	1	1	1	1
51	Redwood	Forest	10	1	1	1	1	1	1	1	1
52	Redwood	Forest	10	1	1	1	1	1	1	1	1
53	Redwood	Forest	10	1	1	1	1	1	1	1	1
54	Redwood	Forest	10	1	1	1	1	1	1	1	1
55	Redwood	Forest	10	1	1	1	1	1	1	1	1
56	Redwood	Forest	10	1	1	1	1	1	1	1	1
57	Redwood	Forest	10	1	1	1	1	1	1	1	1
58	Redwood	Forest	10	1	1	1	1	1	1	1	1
59	Redwood	Forest	10	1	1	1	1	1	1	1	1
60	Redwood	Forest	10	1	1	1	1	1	1	1	1
61	Redwood	Forest	10	1	1	1	1	1	1	1	1
62	Redwood	Forest	10	1	1	1	1	1	1	1	1
63	Redwood	Forest	10	1	1	1	1	1	1	1	1
64	Redwood	Forest	10	1	1	1	1	1	1	1	1
65	Redwood	Forest	10	1	1	1	1	1	1	1	1
66	Redwood	Forest	10	1	1	1	1	1	1	1	1
67	Redwood	Forest	10	1	1	1	1	1	1	1	1
68	Redwood	Forest	10	1	1	1	1	1	1	1	1
69	Redwood	Forest	10	1	1	1	1	1	1	1	1
70	Redwood	Forest	10	1	1	1	1	1	1	1	1
71	Redwood	Forest	10	1	1	1	1	1	1	1	1
72	Redwood	Forest	10	1	1	1	1	1	1	1	1
73	Redwood	Forest	10	1	1	1	1	1	1	1	1
74	Redwood	Forest	10	1	1	1	1	1	1	1	1
75	Redwood	Forest	10	1	1	1	1	1	1	1	1
76	Redwood	Forest	10	1	1	1	1	1	1	1	1
77	Redwood	Forest	10	1	1	1	1	1	1	1	1
78	Redwood	Forest	10	1	1	1	1	1	1	1	1
79	Redwood	Forest	10	1	1	1	1	1	1	1	1
80	Redwood	Forest	10	1	1	1	1	1	1	1	1
81	Redwood	Forest	10	1	1	1	1	1	1	1	1
82	Redwood	Forest	10	1	1	1	1	1	1	1	1
83	Redwood	Forest	10	1	1	1	1	1	1	1	1
84	Redwood	Forest	10	1	1	1	1	1	1	1	1
85	Redwood	Forest	10	1	1	1	1	1	1	1	1
86	Redwood	Forest	10	1	1	1	1	1	1	1	1
87	Redwood	Forest	10	1	1	1	1	1	1	1	1
88	Redwood	Forest	10	1	1	1	1	1	1	1	1
89	Redwood	Forest	10	1	1	1	1	1	1	1	1
90	Redwood	Forest	10	1	1	1	1	1	1	1	1
91	Redwood	Forest	10	1	1	1	1	1	1	1	1
92	Redwood	Forest	10	1	1	1	1	1	1	1	1
93	Redwood	Forest	10	1	1	1	1	1	1	1	1
94	Redwood	Forest	10	1	1	1	1	1	1	1	1
95	Redwood	Forest	10	1	1	1	1	1	1	1	1
96	Redwood	Forest	10	1	1	1	1	1	1	1	1
97	Redwood	Forest	10	1	1	1	1	1	1	1	1
98	Redwood	Forest	10	1	1	1	1	1	1	1	1
99	Redwood	Forest	10	1	1	1	1	1	1	1	1
100	Redwood	Forest	10	1	1	1	1	1	1	1	1
101	Redwood	Forest	10	1	1	1	1	1	1	1	1
102	Redwood	Forest	10	1	1	1	1	1	1	1	1
103	Redwood	Forest	10	1	1	1	1	1	1	1	1
104	Redwood	Forest	10	1	1	1	1	1	1	1	1
105	Redwood	Forest	10	1	1	1	1	1	1	1	1
106	Redwood	Forest	10	1	1	1	1	1	1	1	1
107	Redwood	Forest	10	1	1	1	1	1	1	1	1
108	Redwood	Forest	10	1	1	1	1	1	1	1	1
109	Redwood	Forest	10	1	1	1	1	1	1	1	1
110	Redwood	Forest	10	1	1	1	1	1	1	1	1
111	Redwood	Forest	10	1	1	1	1	1	1	1	1
112	Redwood	Forest	10	1	1	1	1	1	1	1	1
113	Redwood	Forest	10	1	1	1	1	1	1	1	1
114	Redwood	Forest	10	1	1	1	1	1	1	1	1
115	Redwood	Forest	10	1	1	1	1	1	1	1	1
116	Redwood	Forest	10	1	1	1	1	1	1	1	1
117	Redwood	Forest	10	1	1	1	1	1	1	1	1
118	Redwood	Forest	10	1	1	1	1	1	1	1	1
119	Redwood	Forest	10	1	1	1	1	1	1	1	1
120	Redwood	Forest	10	1	1	1	1	1	1	1	1
121	Redwood	Forest	10	1	1	1	1	1	1	1	1
122	Redwood	Forest	10	1	1	1	1	1	1	1	1
123	Redwood	Forest	10	1	1	1	1	1	1	1	1
124	Redwood	Forest	10	1	1	1	1	1	1	1	1
125	Redwood	Forest	10	1	1	1	1	1	1	1	1
126	Redwood	Forest	10	1	1	1	1	1	1	1	1
127	Redwood	Forest	10	1	1	1	1	1	1	1	1
128	Redwood	Forest	10	1	1	1	1	1	1	1	1
129	Redwood	Forest	10	1	1	1	1	1	1	1	1
130	Redwood	Forest	10	1	1	1	1	1	1	1	1
131	Redwood	Forest	10	1	1	1	1	1	1	1	1
132	Redwood	Forest	10	1	1	1	1	1	1	1	1
133	Redwood	Forest	10	1	1	1	1	1	1	1	1
134	Redwood	Forest	10	1	1	1	1	1	1	1	1
135	Redwood	Forest	10	1	1	1	1	1	1	1	1
136	Redwood	Forest	10	1	1	1	1	1	1	1	1
137	Redwood	Forest	10	1	1	1	1	1	1	1	1
138	Redwood	Forest	10	1	1	1	1	1	1	1	1
139	Redwood	Forest	10	1	1	1	1	1	1	1	1
140	Redwood	Forest	10	1	1	1	1	1	1	1	1
141	Redwood	Forest	10	1	1	1	1	1	1	1	1
142	Redwood	Forest	10	1	1	1	1	1	1	1	1
143	Redwood	Forest	10	1							



- MINI PARK
- COMMUNITY GARDEN
- PICNIC AREA

- PUBLICLY ACCESSIBLE MINI PARK
- NEIGHBORHOOD PARK
- PLAY ELEMENTS - ALL AGES
- FITNESS LOOP STATION
- WAYFINDING SIGNAGE

NORTH PARCEL ENTRY  
UPPER TERRACE

PEDESTRIAN LOOP,  
UPPER TERRACE

VIEW OVERLOOK  
• FITNESS STATION

VIEW OVERLOOK  
• PICNIC AREA

VEGETATED RETAINING WALL,  
TYP, SEE CIVIL DRAWINGS

NATURAL LANDSCAPE

NORTH PARCEL ENTRY  
LOWER TERRACE

PEDESTRIAN LOOP,  
LOWER TERRACE

#### LEGEND

- ★ ACTIVITY NODE
  - WAYFINDING SIGNAGE
  - FITNESS EQUIPMENT
  - FLEXIBLE PLAY

- FITNESS PATH
  - MILEAGE MARKER

— ACCESSIBLE PATH OF TRAVEL TO PUBLIC AMENITIES

SEE SHEETS L2.01-L2.07 FOR MATERIAL LOCATIONS  
SEE SHEET L2.10 FOR PARKS AND REC FACILITY CREDIT

PEDESTRIAN ENTRY, TYP

GARAGE ENTRY, TYP

- MINI PARK
  - TURF AREA - CROQUET, CORN HOLE (PUBLICLY ACCESSIBLE)
  - COMMUNITY GARDEN

- PUBLICLY ACCESSIBLE MINI PARK
  - PLAY ELEMENTS, AGES 2-5 AND 5-12
  - PICNIC AREA
  - BBQ
  - WAYFINDING SIGNAGE

VIEW OVERLOOK  
• FITNESS STATION

VIEW OVERLOOK  
• PICNIC AREA  
• ART

MATCHLINE - SEE SHEET L1.02



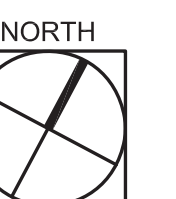
## PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA

CAMPUS POP INVESTOR, LLC

## LANDSCAPE DESIGN - NORTH PARCEL

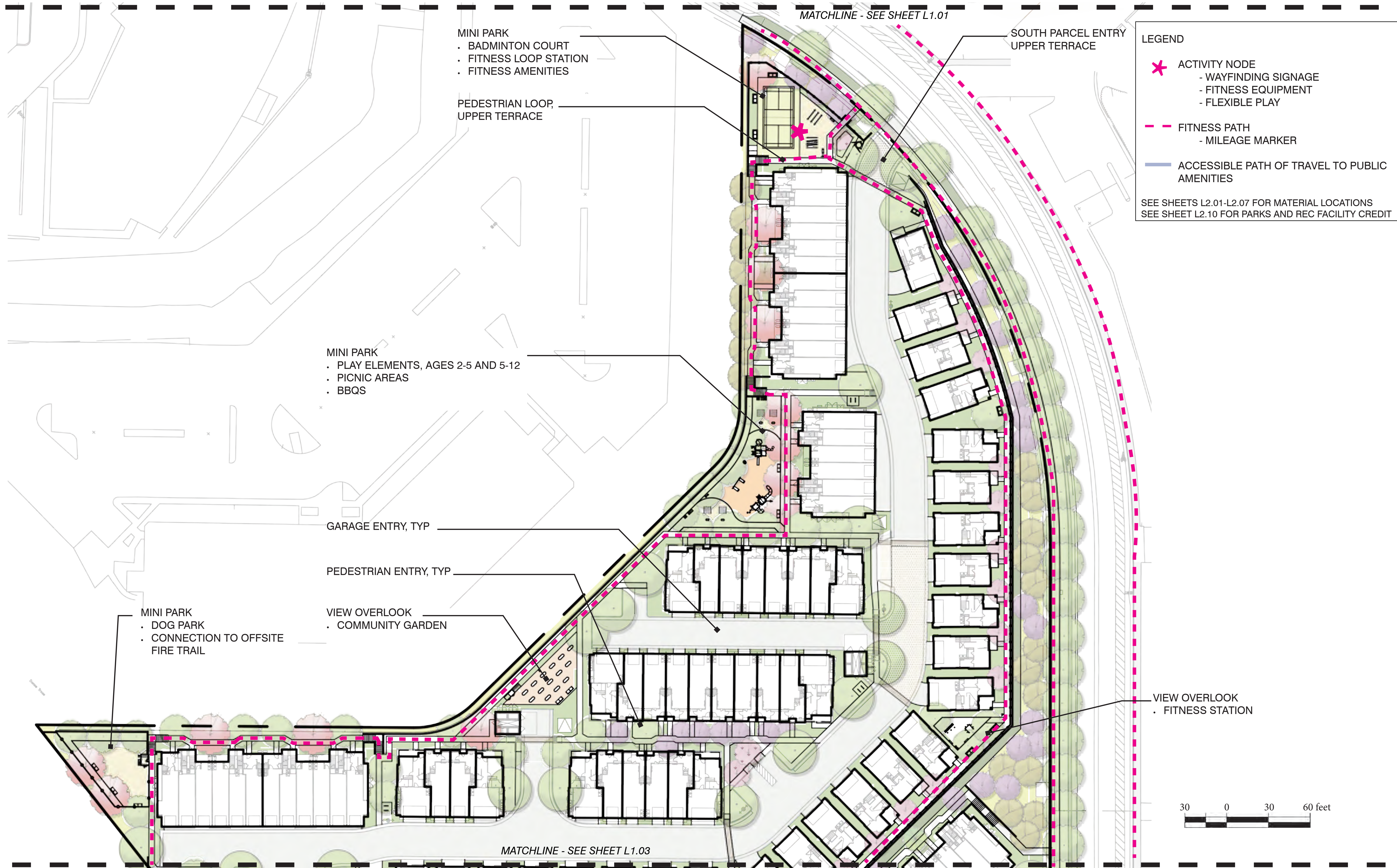


JOB NO. 1483.001  
DATE 08-13-20  
2 Theatre Sq., Ste 218  
Orinda, Ca 94563  
925-254-5422



L1.01





# PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA

CAMPUS POP INVESTOR, LLC

## LANDSCAPE DESIGN - SOUTH PARCEL



JOB NO. 1483.001  
DATE 08-13-20  
2 Theatre Sq., Ste 218  
Orinda, Ca 94563  
925-254-5422



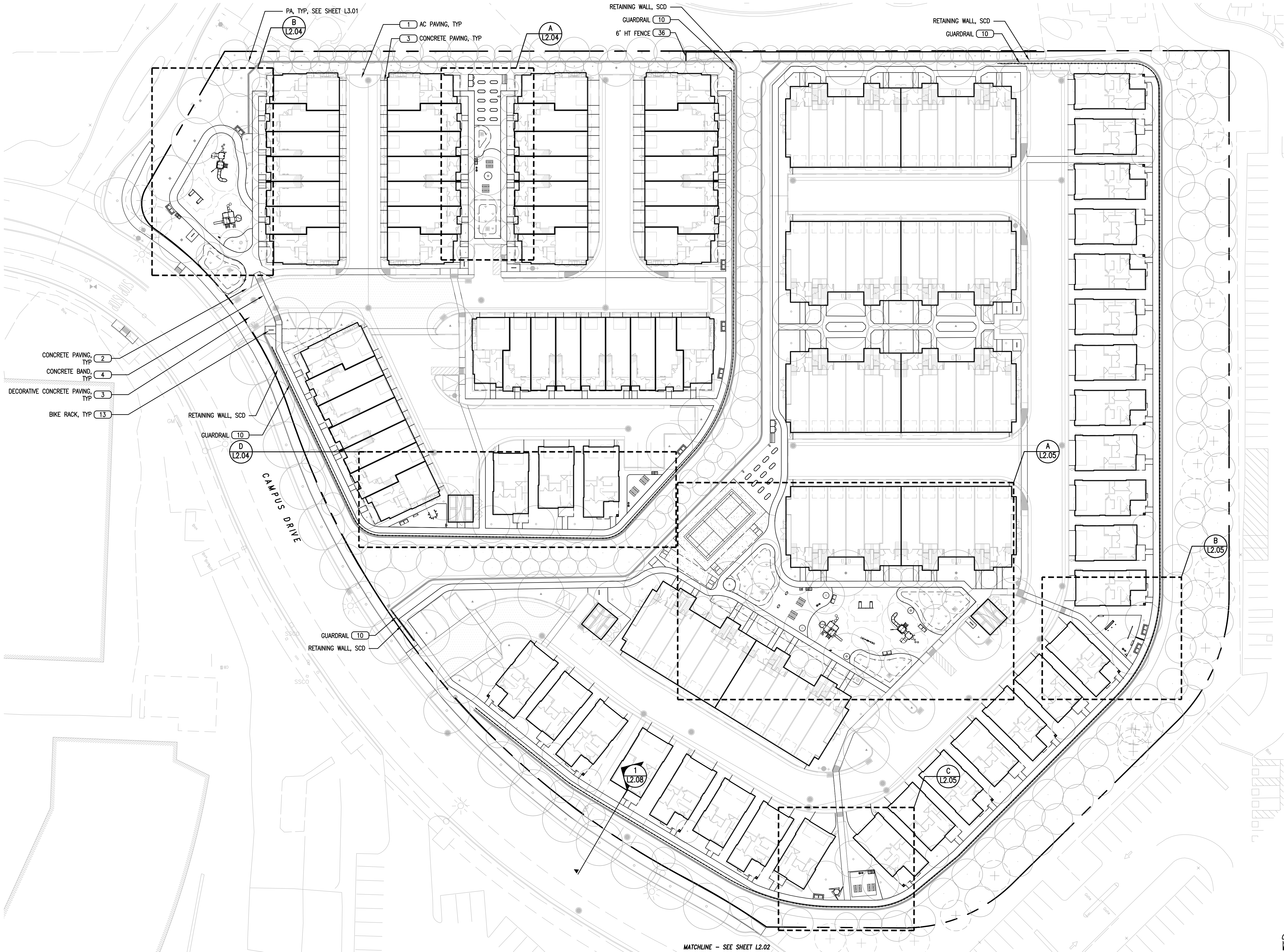
L1.02







MATERIALS SCHEDULE	
KEY	NAME
1	AC PAVING
2	CONCRETE PAVING
3	DECORATIVE CONCRETE PAVING
4	CONCRETE BAND
5	DG PAVING
6	RESILIENT PLAY SURFACING
7	STAIRS
8	MULCH
9	STORMWATER PLANTER
10	GUARDRAIL
11	DOG PARK FENCING
12	PUBLIC ART PIECE
13	BIKE RACK
14	BENCH
15	DOG WASTE STATION
16	BBQ
17	COAL BIN
18	DRINKING FOUNTAIN
19	PICNIC TABLE
20	SHADE STRUCTURE
21	PLAY EQUIPMENT
22	PLAY EQUIPMENT
23	SWING SET
24	FITNESS EQUIPMENT SIGNAGE
25	FITNESS EQUIPMENT
26	FITNESS LOOP STATION
27	MILEAGE MARKER
28	COMMUNITY GARDEN PLANTER
29	HOSE BIBB
30	GARDEN TABLE
31	TOOL SHED
32	TRASH/RECYCLE RECEPTACLES
33	CORNHOLE
34	BADMINTON COURT
35	CROQUET COURT
36	6' HT FENCE
SEE SHEET L2.09 FOR FULL SCHEDULE OF MATERIALS	



PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

OVERALL LANDSCAPE PLAN -  
NORTH PARCEL

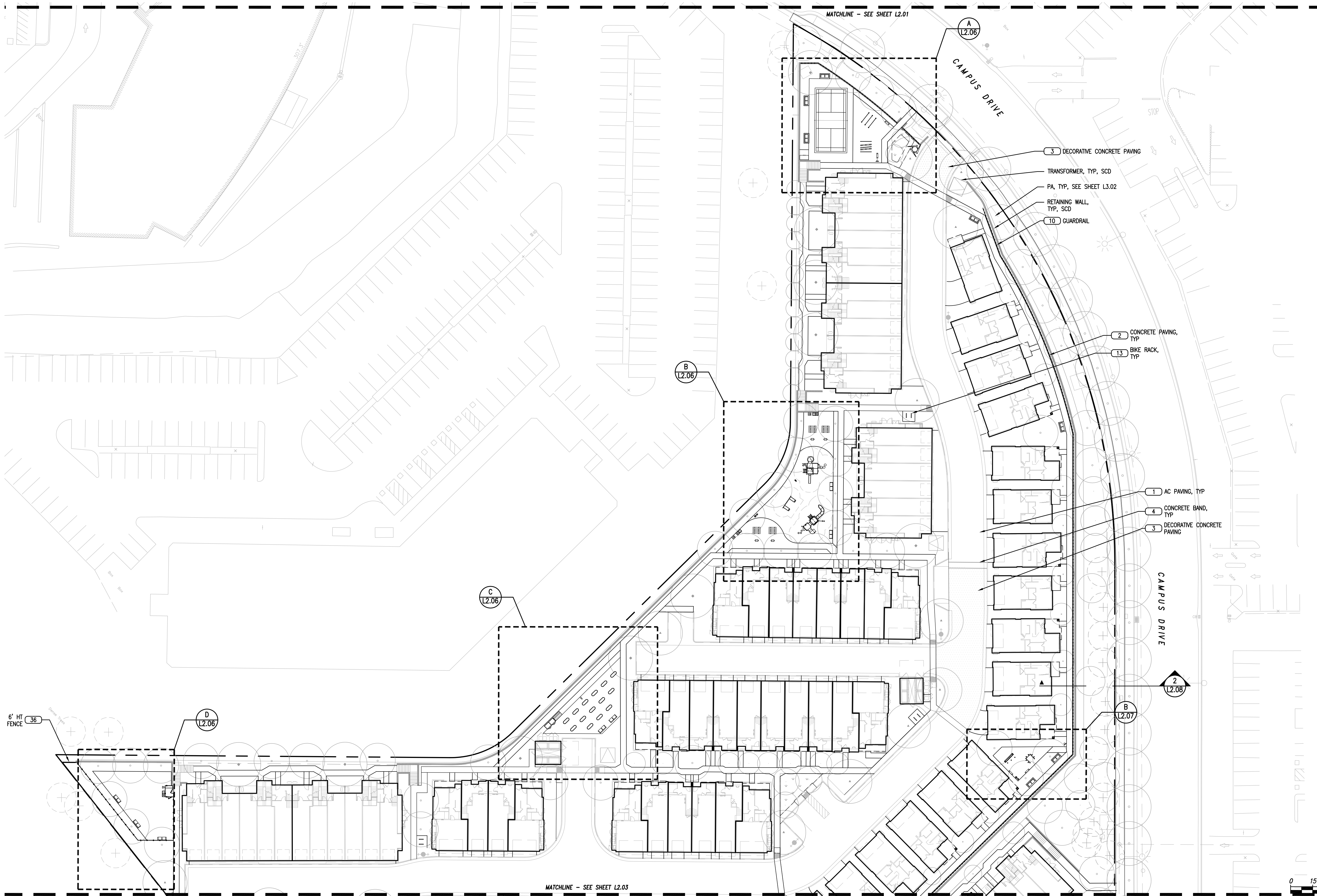


JOB NO. 1483.001  
DATE 08-13-20  
2 Theatre Sq., Ste 218  
Orinda, Ca 94563  
925-254-5422



L2.01





MATERIALS SCHEDULE

KEY	NAME
1	AC PAVING
2	CONCRETE PAVING
3	DECORATIVE CONCRETE PAVING
4	CONCRETE BAND
5	DG PAVING
6	RESILIENT PLAY SURFACING
7	STAIRS
8	MULCH
9	STORMWATER PLANTER
10	GUARDRAIL
11	DOG PARK FENCING
12	PUBLIC ART PIECE
13	BIKE RACK
14	BENCH
15	DOG WASTE STATION
16	BBQ
17	COAL BIN
18	DRINKING FOUNTAIN
19	PICNIC TABLE
20	SHADE STRUCTURE
21	PLAY EQUIPMENT
22	PLAY EQUIPMENT
23	SWING SET
24	FITNESS EQUIPMENT SIGNAGE
25	FITNESS EQUIPMENT
26	FITNESS LOOP STATION
27	MILEAGE MARKER
28	COMMUNITY GARDEN PLANTER
29	HOSE BIBB
30	GARDEN TABLE
31	TOOL SHED
32	TRASH/RECYCLE RECEPTACLES
33	CORNHOLE
34	BADMINTON COURT
35	CROQUET COURT
36	6' HT FENCE
SEE SHEET L2.09 FOR FULL SCHEDULE OF MATERIALS	

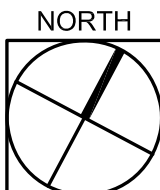
PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA

CAMPUS POP INVESTOR, LLC

OVERALL LANDSCAPE PLAN -  
SOUTH PARCEL



JOB NO. 1483.001  
DATE 08-13-20  
2 Theatre Sq., Ste 218  
Orinda, Ca 94563  
925-254-5422



L2.02

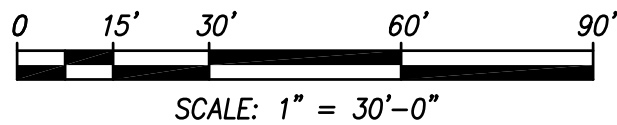




MATERIALS SCHEDULE	
KEY	NAME
1	AC PAVING
2	CONCRETE PAVING
3	DECORATIVE CONCRETE PAVING
4	CONCRETE BAND
5	DG PAVING
6	RESILIENT PLAY SURFACING
7	STAIRS
8	MULCH
9	STORMWATER PLANTER
10	GUARDRAIL
11	DOG PARK FENCING
12	PUBLIC ART PIECE
13	BIKE RACK
14	BENCH
15	DOG WASTE STATION
16	BBQ
17	COAL BIN
18	DRINKING FOUNTAIN
19	PICNIC TABLE
20	SHADE STRUCTURE
21	PLAY EQUIPMENT
22	PLAY EQUIPMENT
23	SWING SET
24	FITNESS EQUIPMENT SIGNAGE
25	FITNESS EQUIPMENT
26	FITNESS LOOP STATION
27	MILEAGE MARKER
28	COMMUNITY GARDEN PLANTER
29	HOSE BIBB
30	GARDEN TABLE
31	TOOL SHED
32	TRASH/RECYCLE RECEPTACLES
33	CORNHOLE
34	BADMINTON COURT
35	CROQUET COURT
36	6' HT FENCE
SEE SHEET L2.09 FOR FULL SCHEDULE OF MATERIALS	

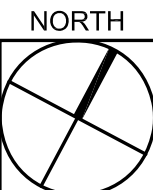
PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

OVERALL LANDSCAPE PLAN -  
SOUTH PARCEL



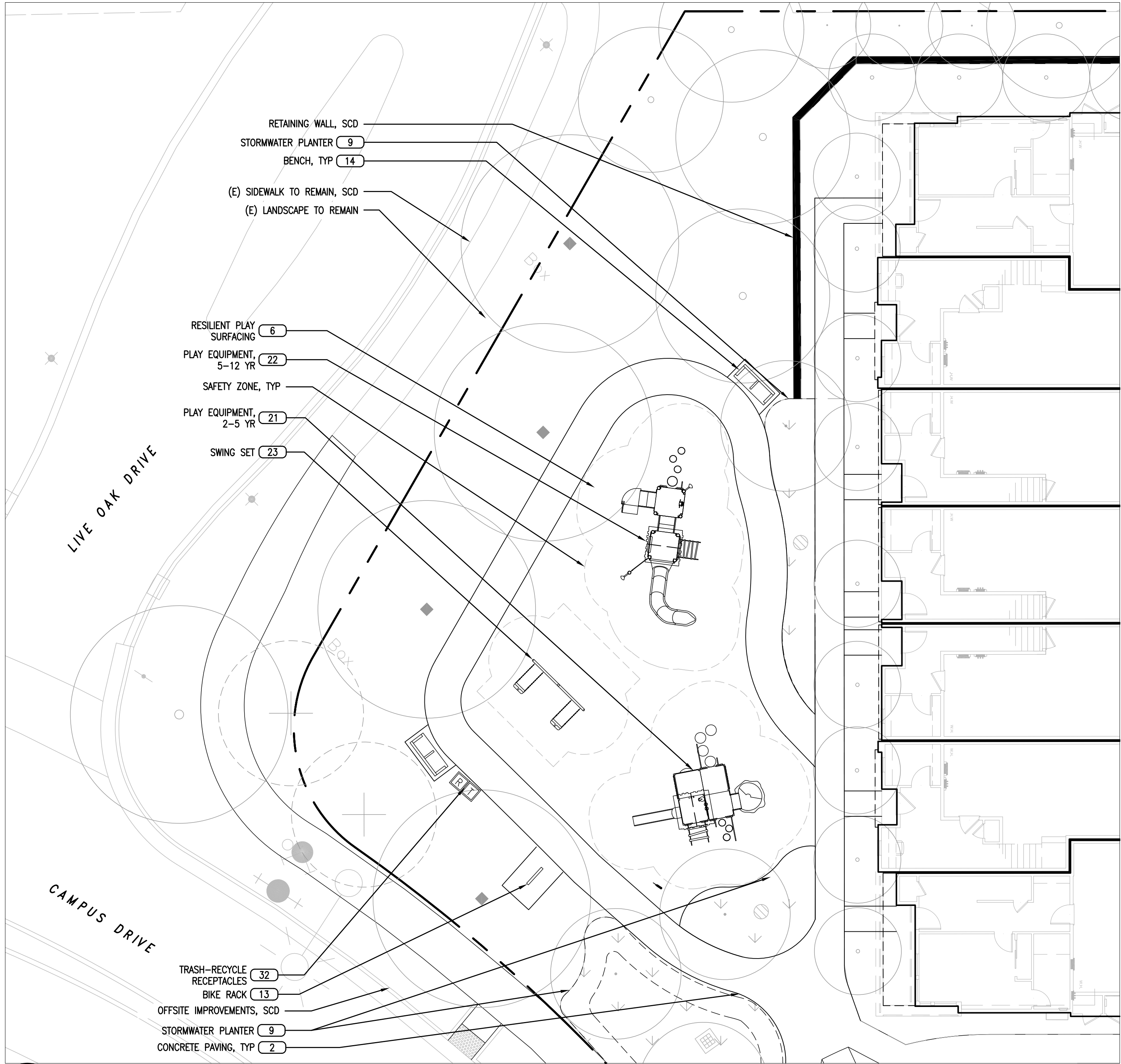
SCALE: 1" = 30'-0"

JOB NO. 1483.001  
DATE 08-13-20  
2 Theatre Sq., Ste 218  
Orinda, Ca 94563  
925-254-5422

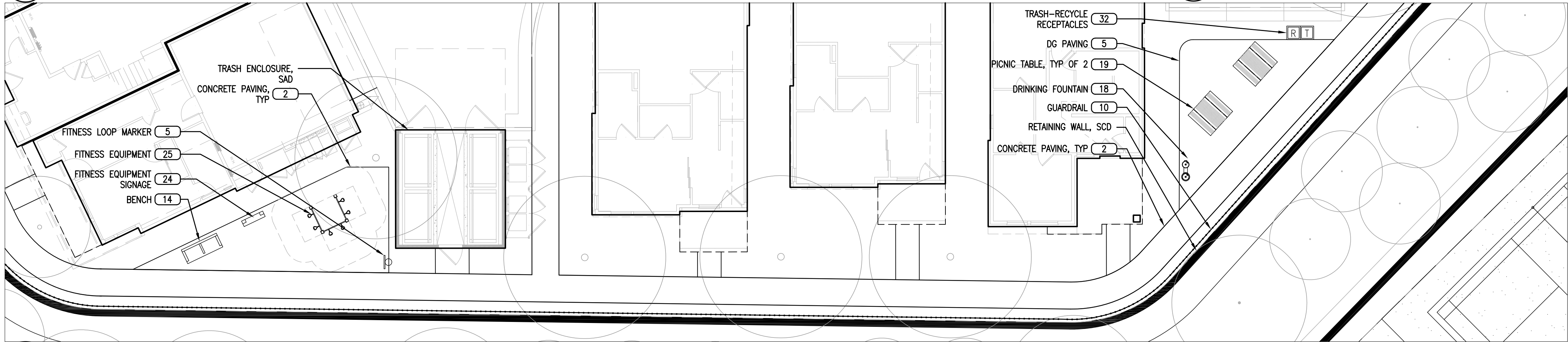


L2.03

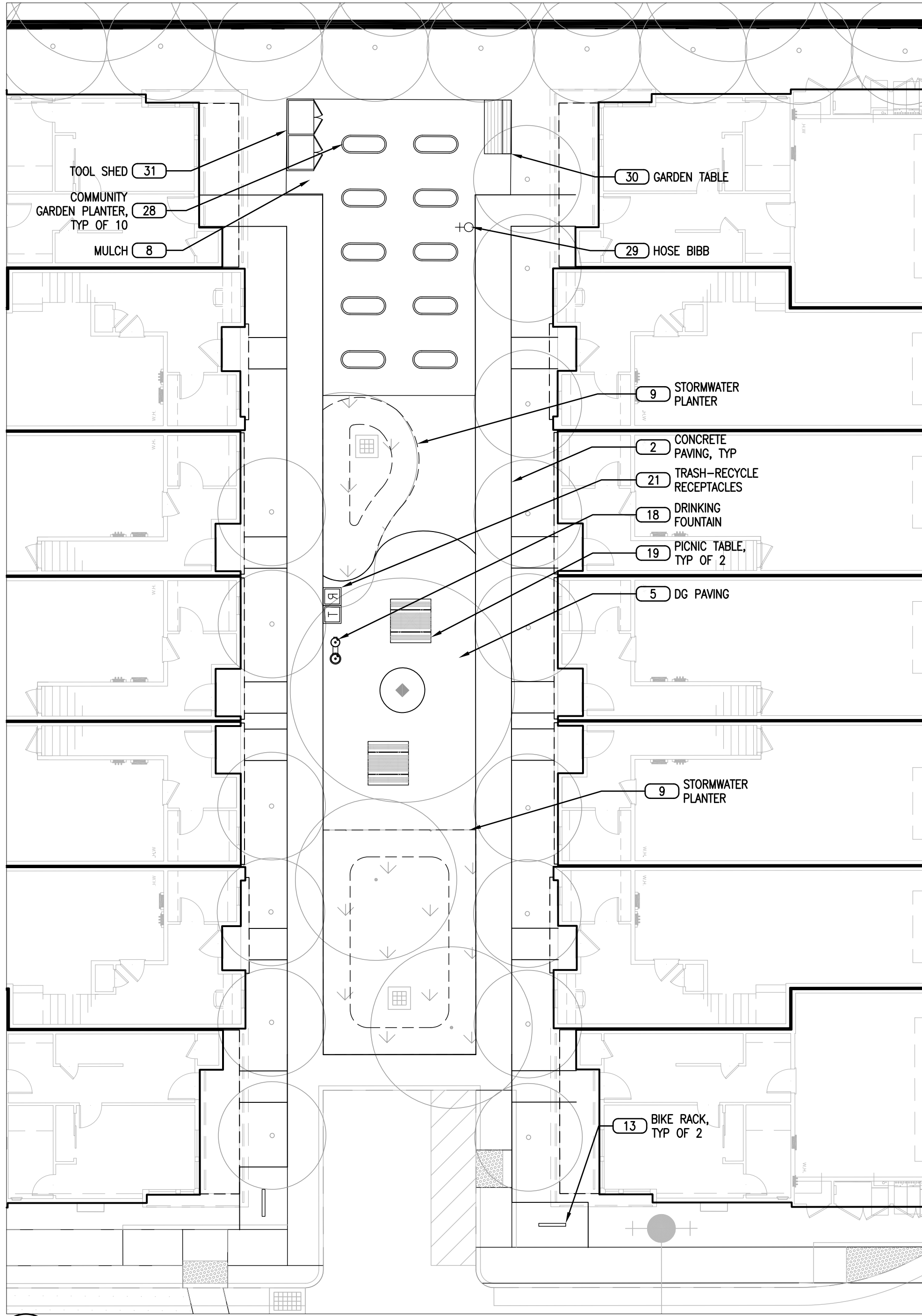




**B** NORTH PARCEL MINI PARK  
SCALE: 1"=10'-0"



**C** NORTH PARCEL VIEW OVERLOOK  
SCALE: 1"=10'-0"



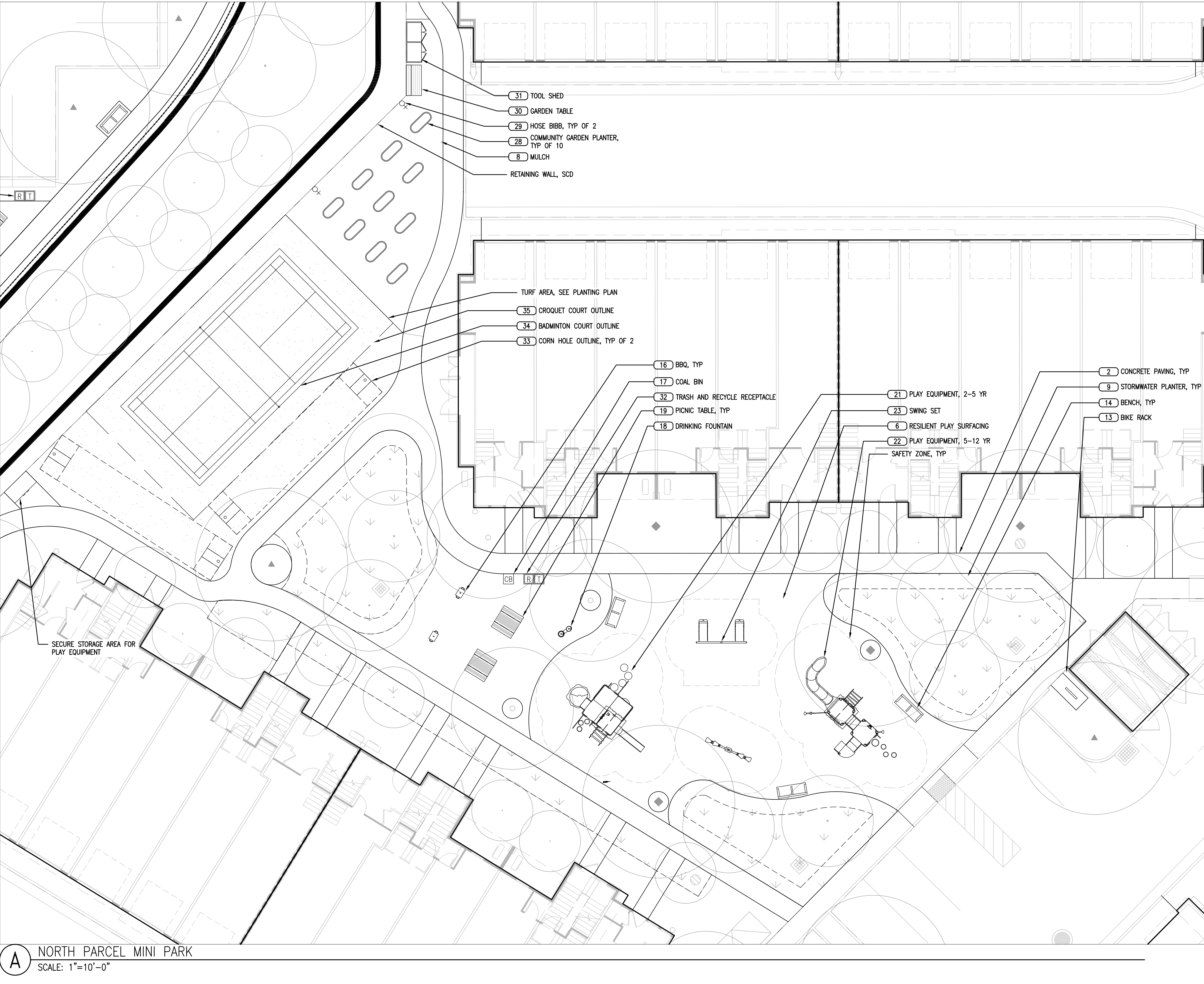
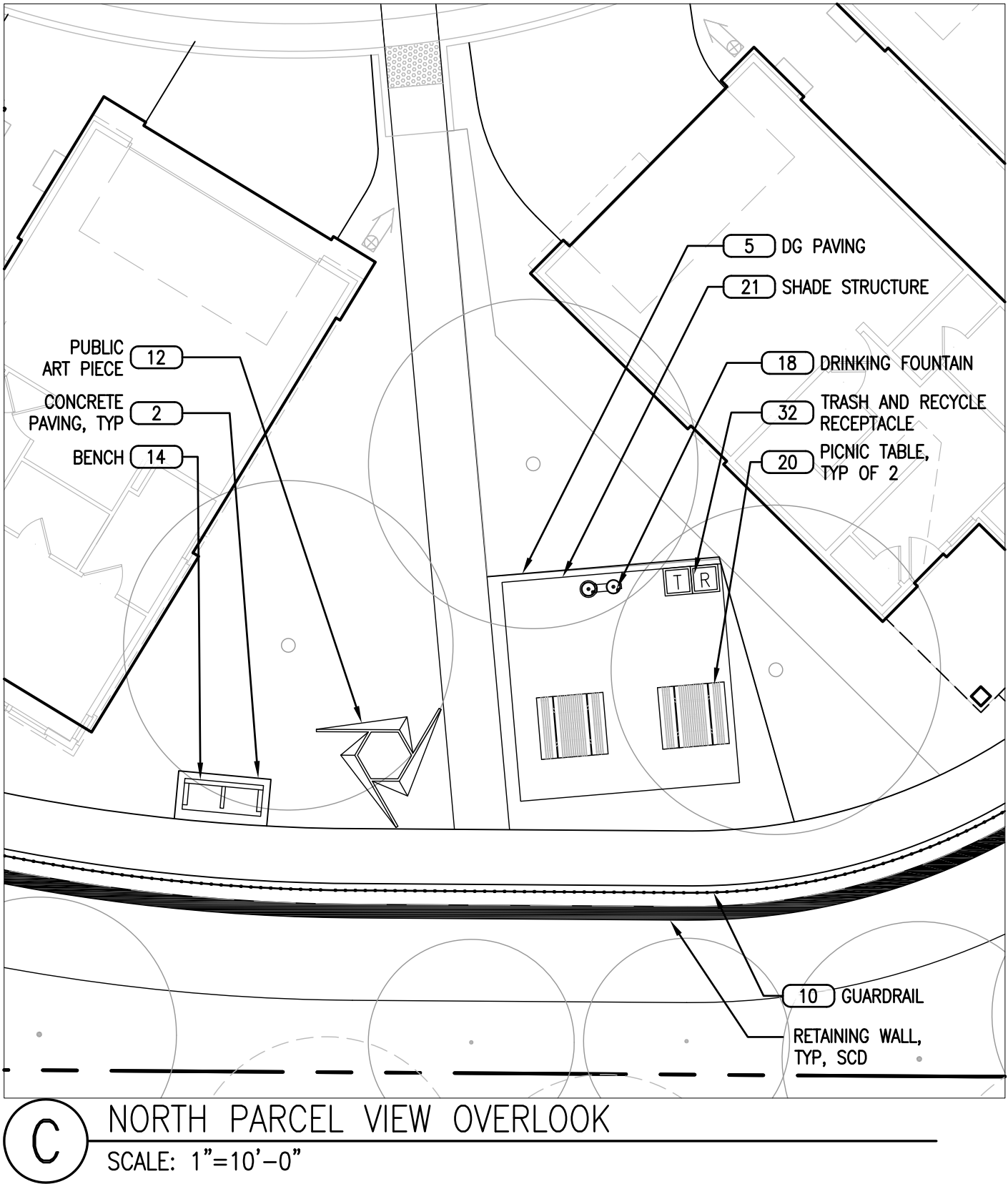
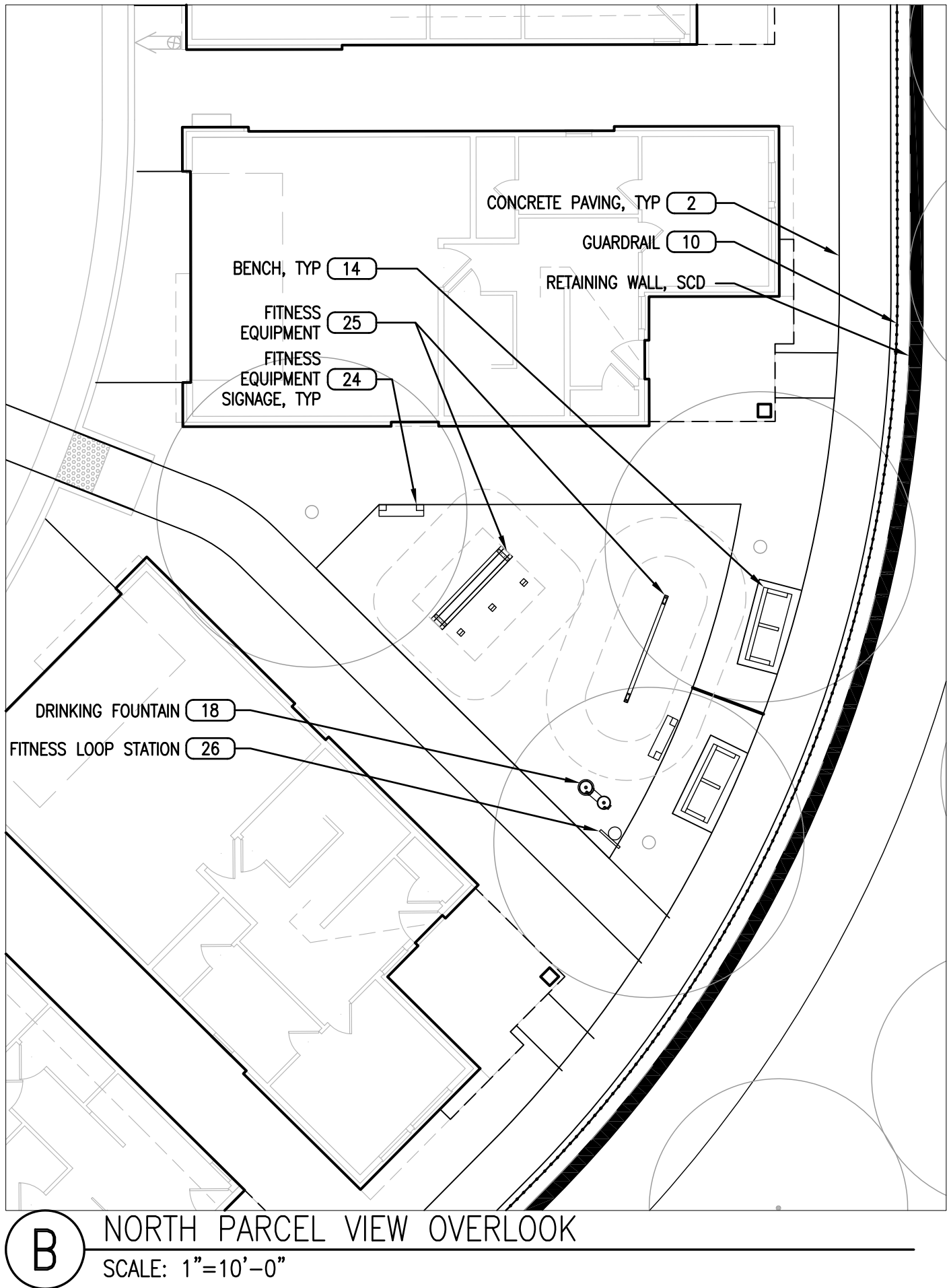
**A** NORTH PARCEL COMMUNITY GARDEN AND PICNIC AREA  
SCALE: 1"=10'-0"

**MATERIALS SCHEDULE**

KEY	NAME
1	AC PAVING
2	CONCRETE PAVING
3	DECORATIVE CONCRETE PAVING
4	CONCRETE BAND
5	DG PAVING
6	RESILIENT PLAY SURFACING
7	STAIRS
8	MULCH
9	STORMWATER PLANTER
10	GUARDRAIL
11	DOG PARK FENCING
12	PUBLIC ART PIECE
13	BIKE RACK
14	BENCH
15	DOG WASTE STATION
16	BBQ
17	COAL BIN
18	DRINKING FOUNTAIN
19	PICNIC TABLE
20	SHADE STRUCTURE
21	PLAY EQUIPMENT
22	PLAY EQUIPMENT
23	SWING SET
24	FITNESS EQUIPMENT SIGNAGE
25	FITNESS EQUIPMENT
26	FITNESS LOOP STATION
27	MILEAGE MARKER
28	COMMUNITY GARDEN PLANTER
29	HOSE BIBB
30	GARDEN TABLE
31	TOOL SHED
32	TRASH/RECYCLE RECEPTACLES
33	CORNHOLE
34	BADMINTON COURT
35	CROQUET COURT
36	6' HT FENCE

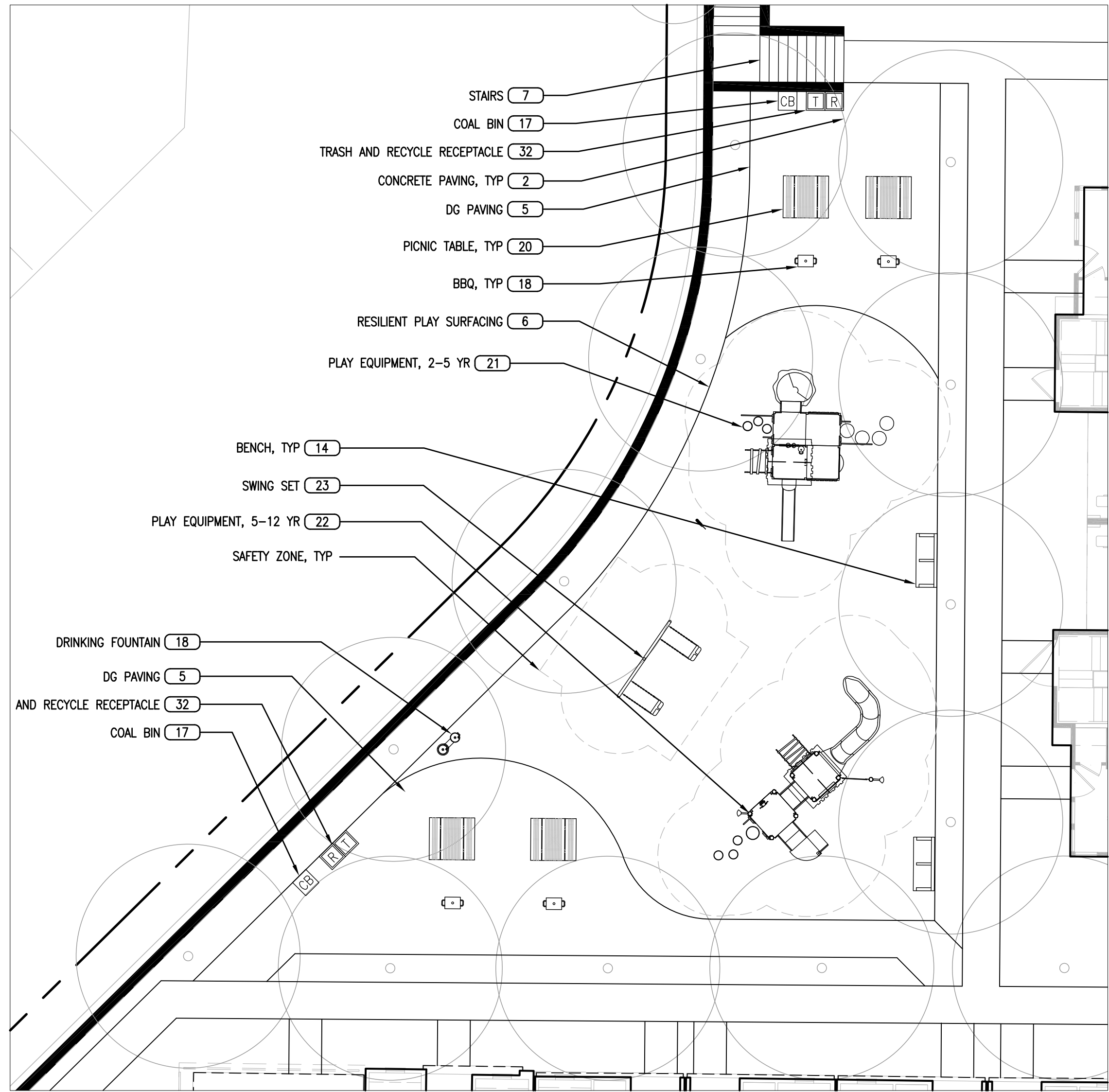
SEE SHEET L2.09 FOR FULL SCHEDULE OF MATERIALS



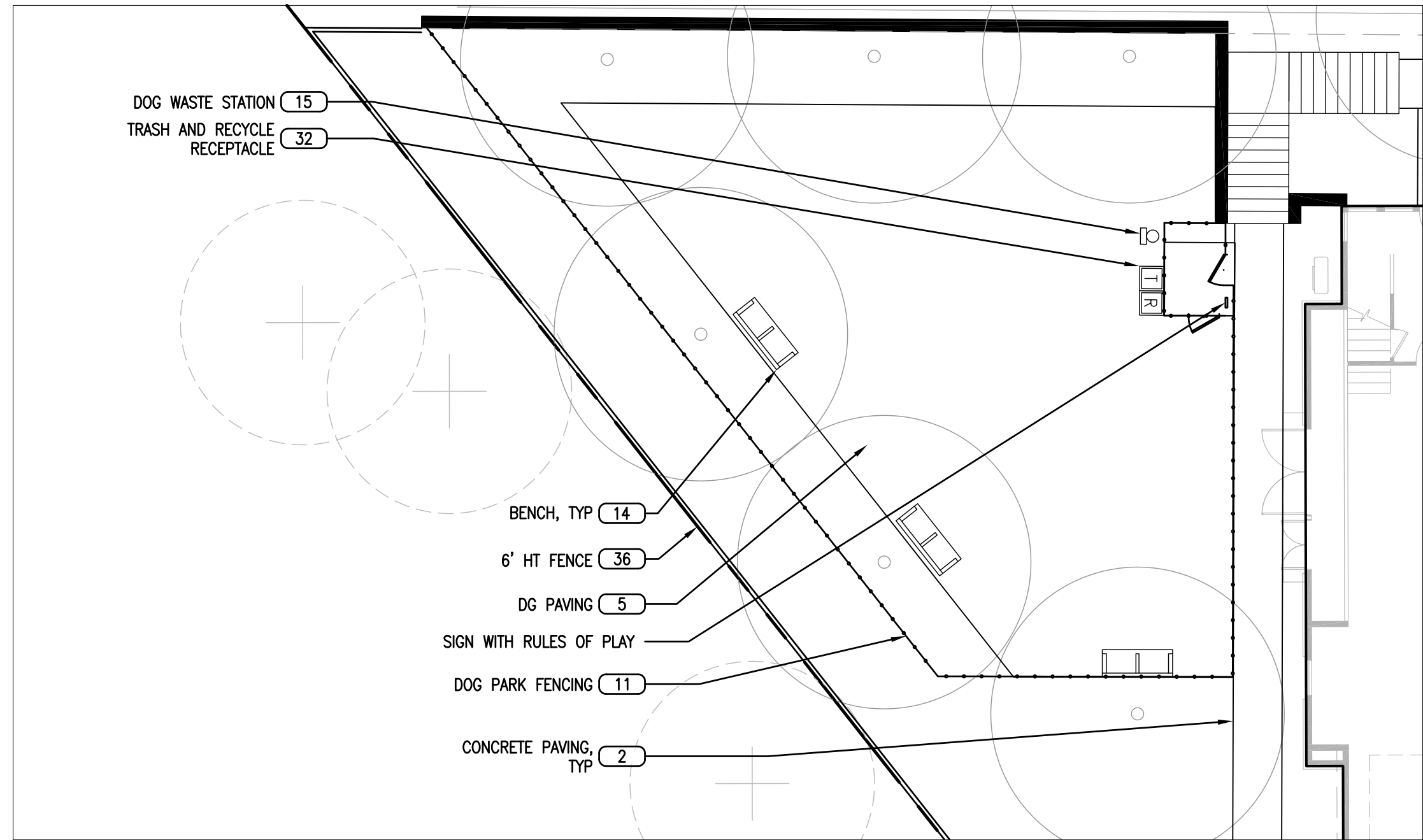


MATERIALS SCHEDULE	
KEY	NAME
1	AC PAVING
2	CONCRETE PAVING
3	DECORATIVE CONCRETE PAVING
4	CONCRETE BAND
5	DG PAVING
6	RESILIENT PLAY SURFACING
7	STAIRS
8	MULCH
9	STORMWATER PLANTER
10	GUARDRAIL
11	DOG PARK FENCING
12	PUBLIC ART PIECE
13	BIKE RACK
14	BENCH
15	DOG WASTE STATION
16	BBQ
17	COAL BIN
18	DRINKING FOUNTAIN
19	PICNIC TABLE
20	SHADE STRUCTURE
21	PLAY EQUIPMENT
22	PLAY EQUIPMENT
23	SWING SET
24	FITNESS EQUIPMENT SIGNAGE
25	FITNESS EQUIPMENT
26	FITNESS LOOP STATION
27	MILEAGE MARKER
28	COMMUNITY GARDEN PLANTER
29	HOSE BIBB
30	GARDEN TABLE
31	TOOL SHED
32	TRASH/RECYCLE RECEPTACLES
33	CORNHOLE
34	BADMINTON COURT
35	CROQUET COURT
36	6' HT FENCE
SEE SHEET L2.09 FOR FULL SCHEDULE OF MATERIALS	

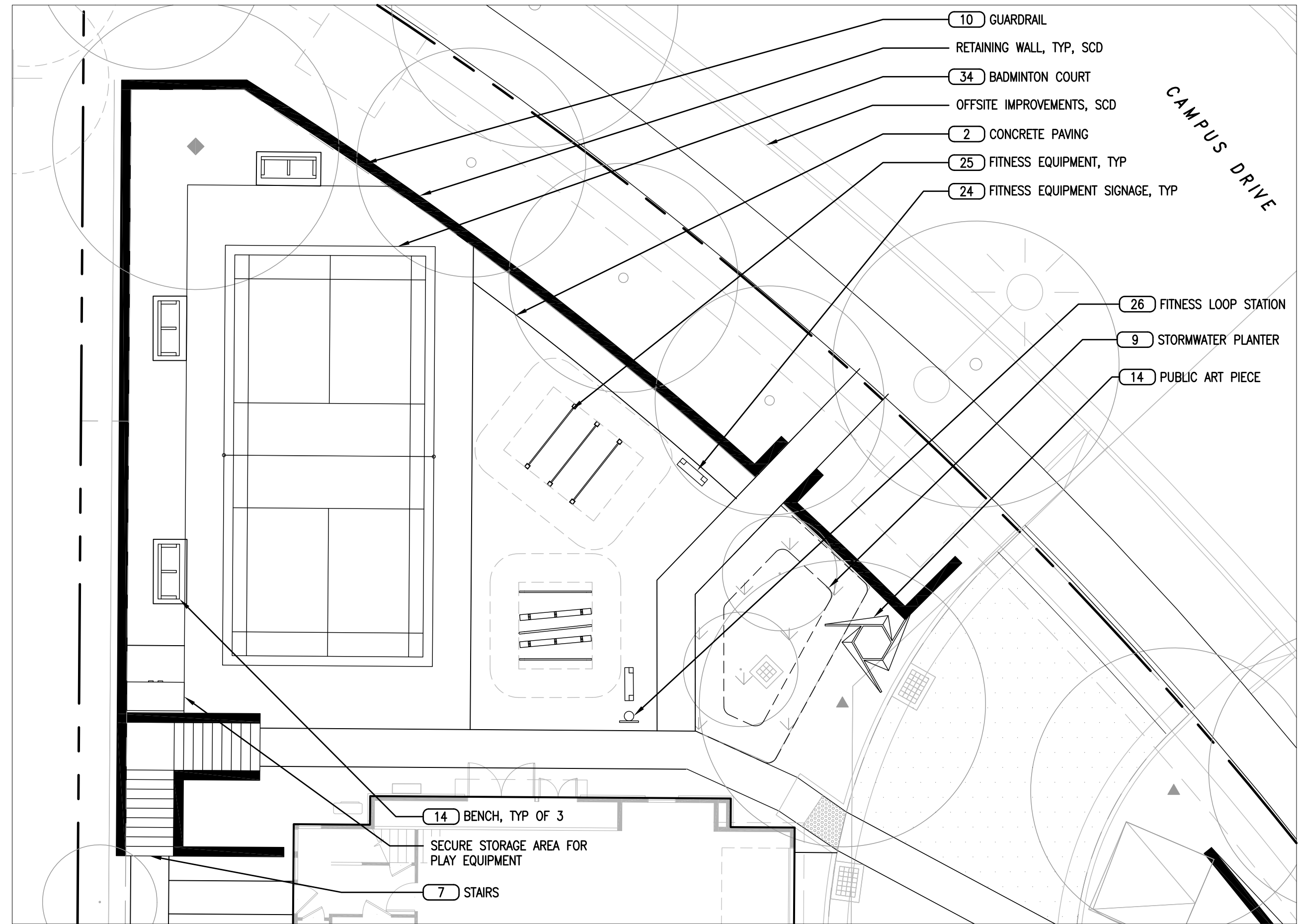




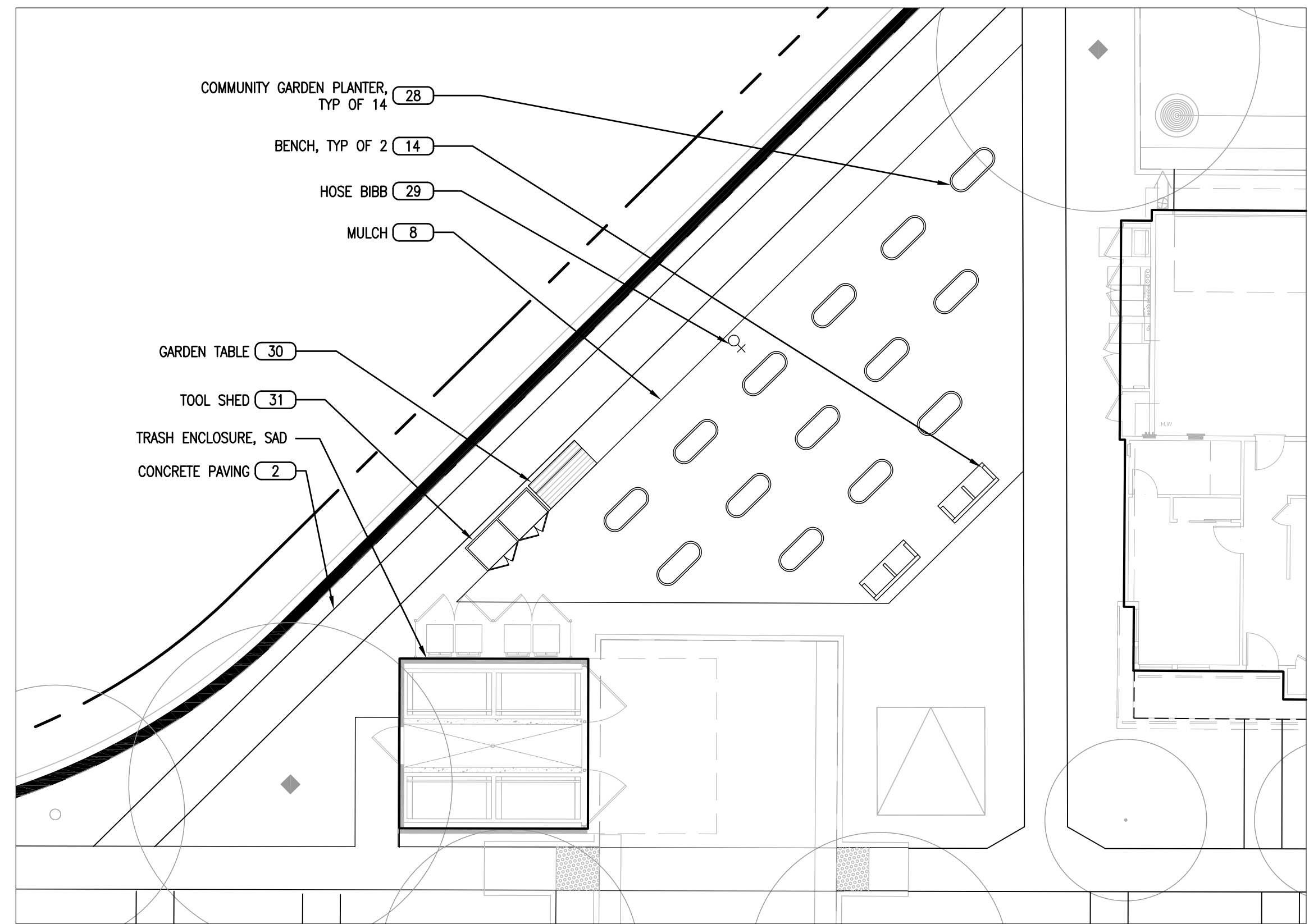
**B** SOUTH PARCEL MINI PARK  
SCALE: 1"=10'-0"



**D** SOUTH PARCEL MINI PARK  
SCALE: 1"=10'-0"

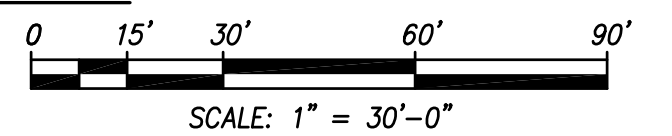


**A** SOUTH PARCEL MINI PARK  
SCALE: 1"=10'-0"



**C** SOUTH PARCEL MINI PARK  
SCALE: 1"=10'-0"

KEY	NAME
1	AC PAVING
2	CONCRETE PAVING
3	DECORATIVE CONCRETE PAVING
4	CONCRETE BAND
5	DG PAVING
6	RESILIENT PLAY SURFACING
7	STAIRS
8	MULCH
9	STORMWATER PLANTER
10	GUARDRAIL
11	DOG PARK FENCING
12	PUBLIC ART PIECE
13	BIKE RACK
14	BENCH
15	DOG WASTE STATION
16	BBQ
17	COAL BIN
18	DRINKING FOUNTAIN
19	PICNIC TABLE
20	SHADE STRUCTURE
21	PLAY EQUIPMENT
22	PLAY EQUIPMENT
23	SWING SET
24	FITNESS EQUIPMENT SIGNAGE
25	FITNESS EQUIPMENT
26	FITNESS LOOP STATION
27	MILEAGE MARKER
28	COMMUNITY GARDEN PLANTER
29	HOSE BIBB
30	GARDEN TABLE
31	TOOL SHED
32	TRASH/RECYCLE RECEPTACLES
33	CORNHOLE
34	BADMINTON COURT
35	CROQUET COURT
36	6' HT FENCE
SEE SHEET L2.09 FOR FULL SCHEDULE OF MATERIALS	



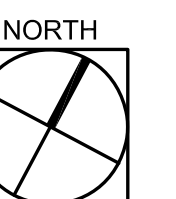
PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA

CAMPUS POP INVESTOR, LLC

LANDSCAPE PLAN ENLARGEMENTS

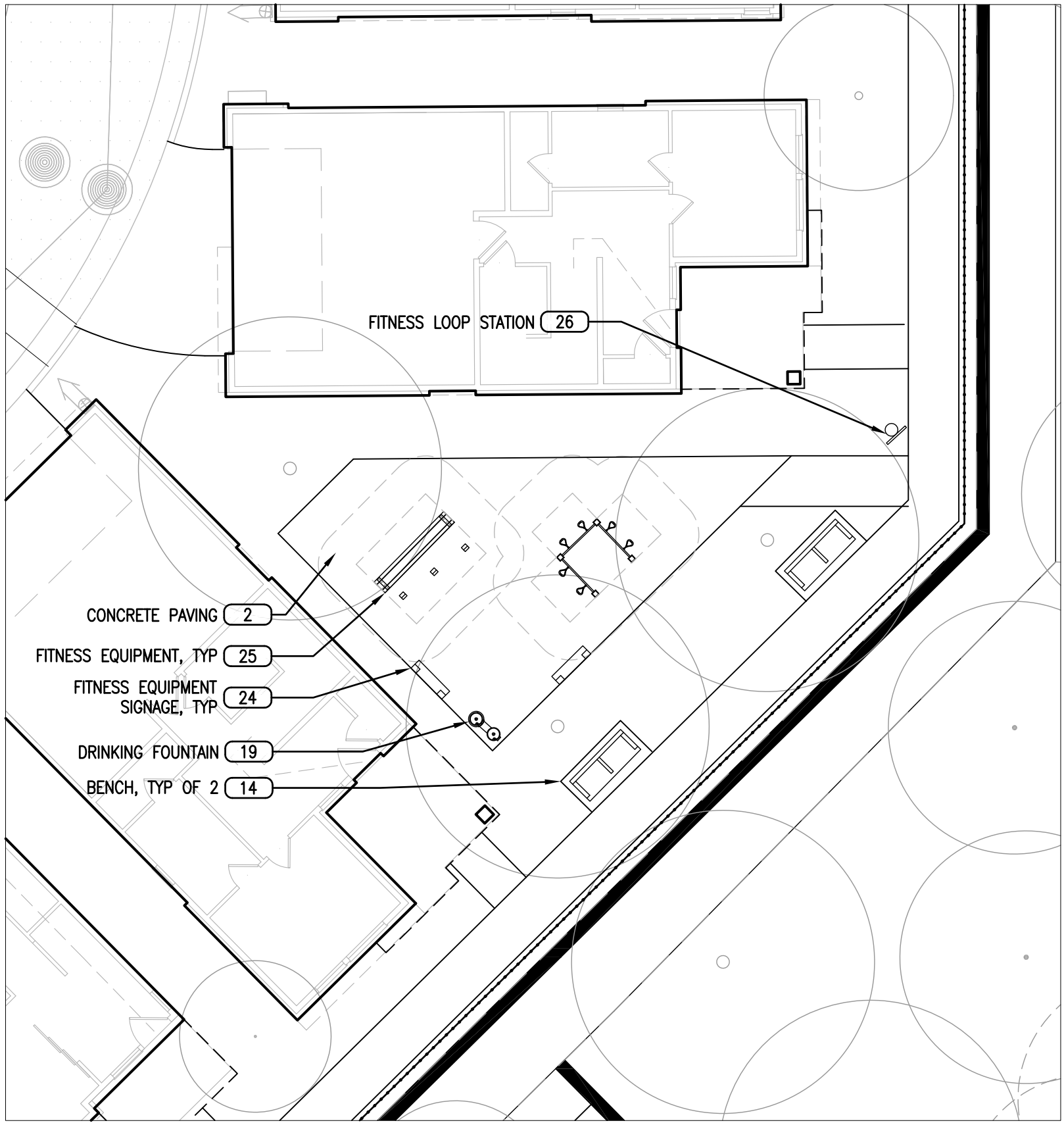


JOB NO. 1483.001  
DATE 08-13-20  
2 Theatre Sq., Ste 218  
Orinda, Ca 94563  
925-254-5422

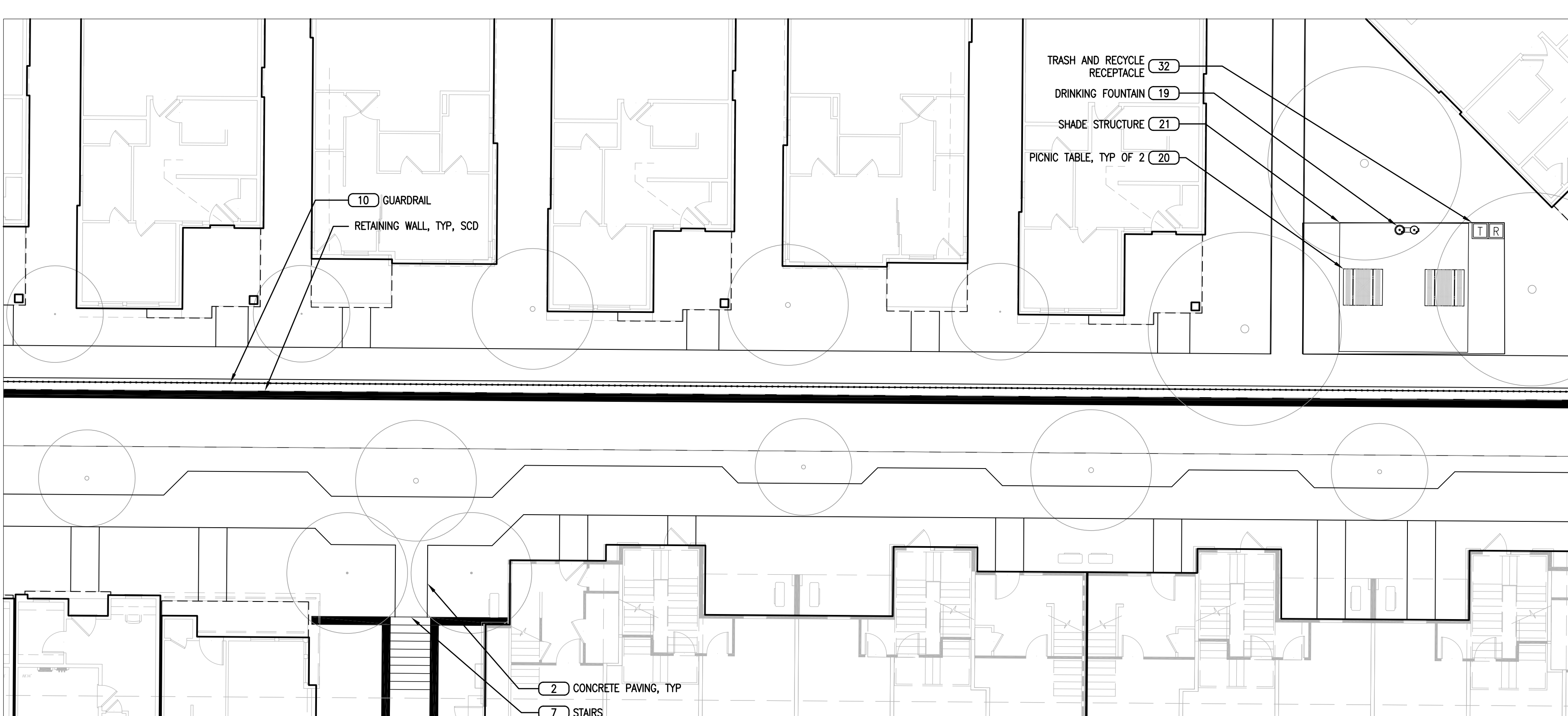


L2.06

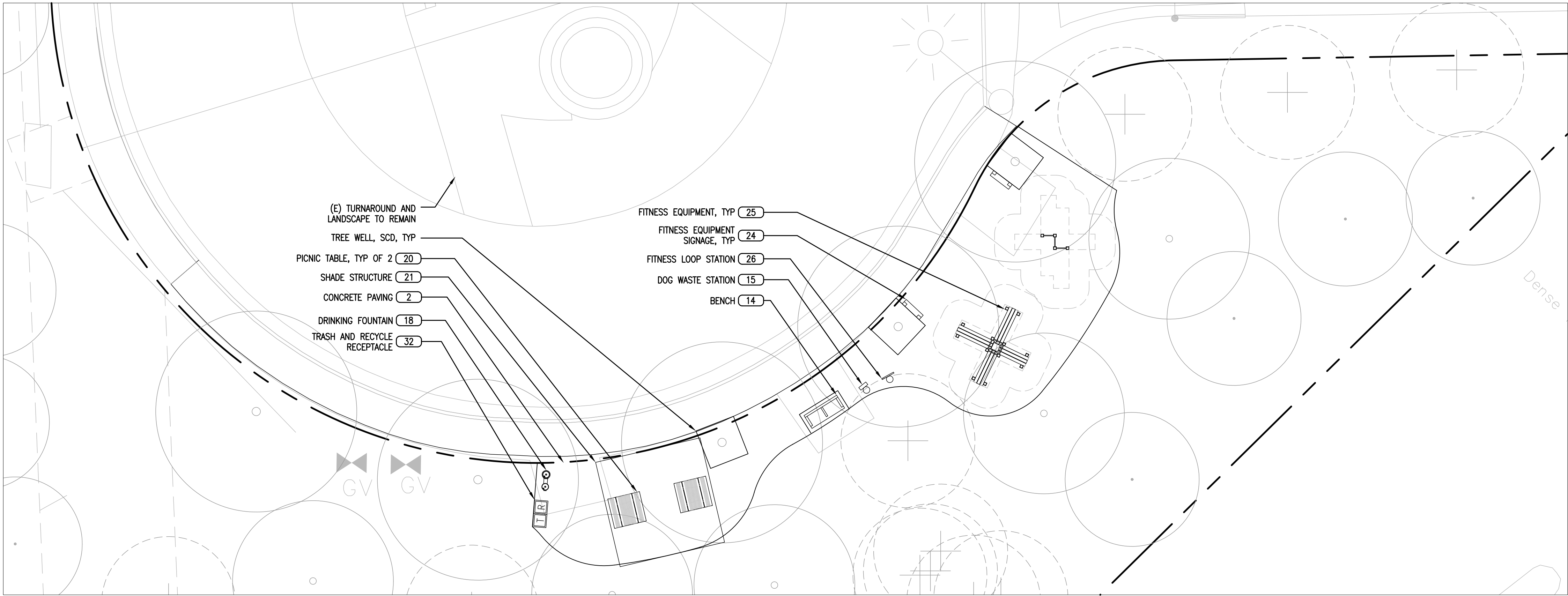




**B** SOUTH PARCEL FITNESS STATION  
SCALE: 1"=10'-0"



**A** SOUTH PARCEL UNIT ENTRY  
SCALE: 1"=10'-0"



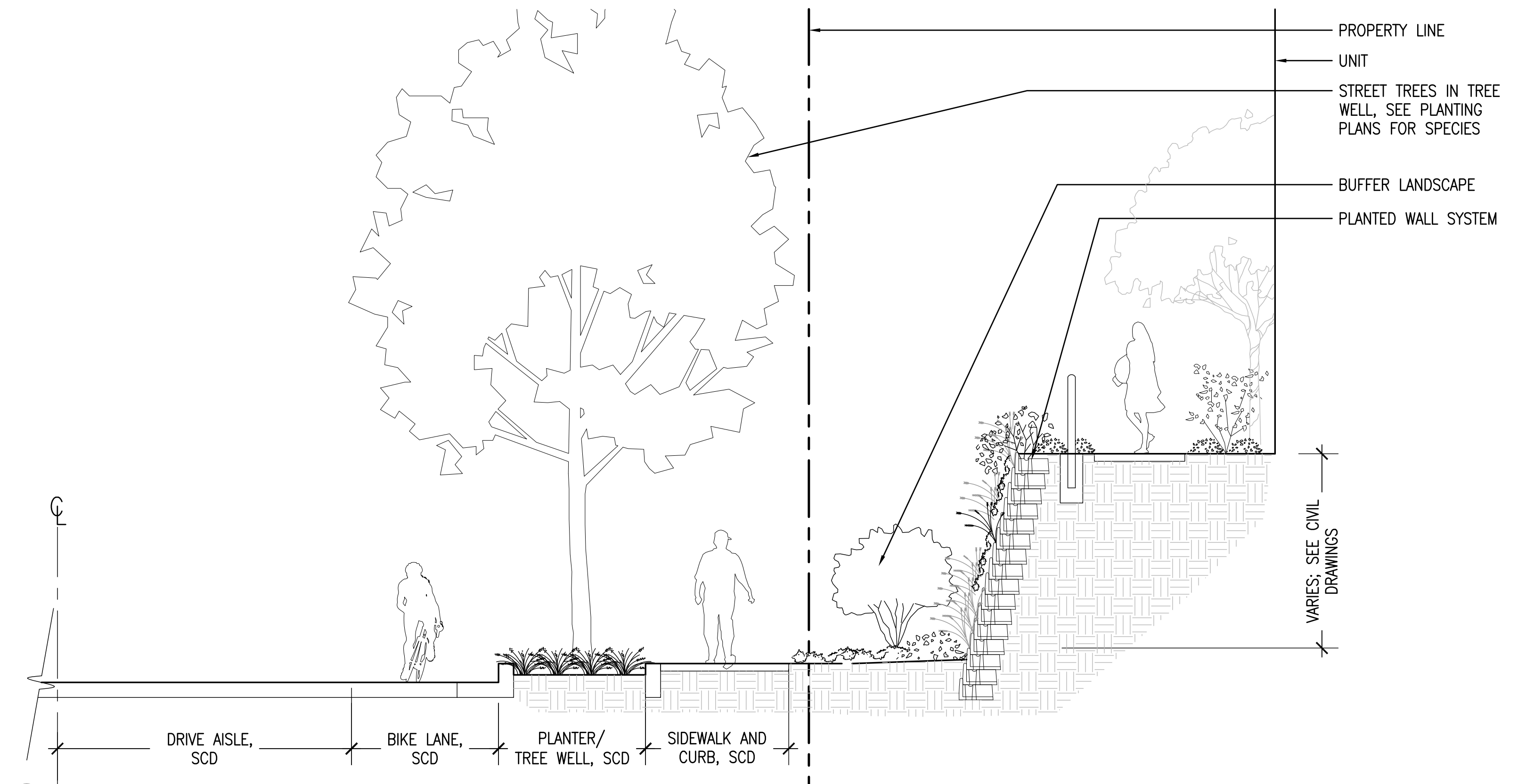
**C** SOUTH PARCEL MINI PARK  
SCALE: 1"=10'-0"

**MATERIALS SCHEDULE**

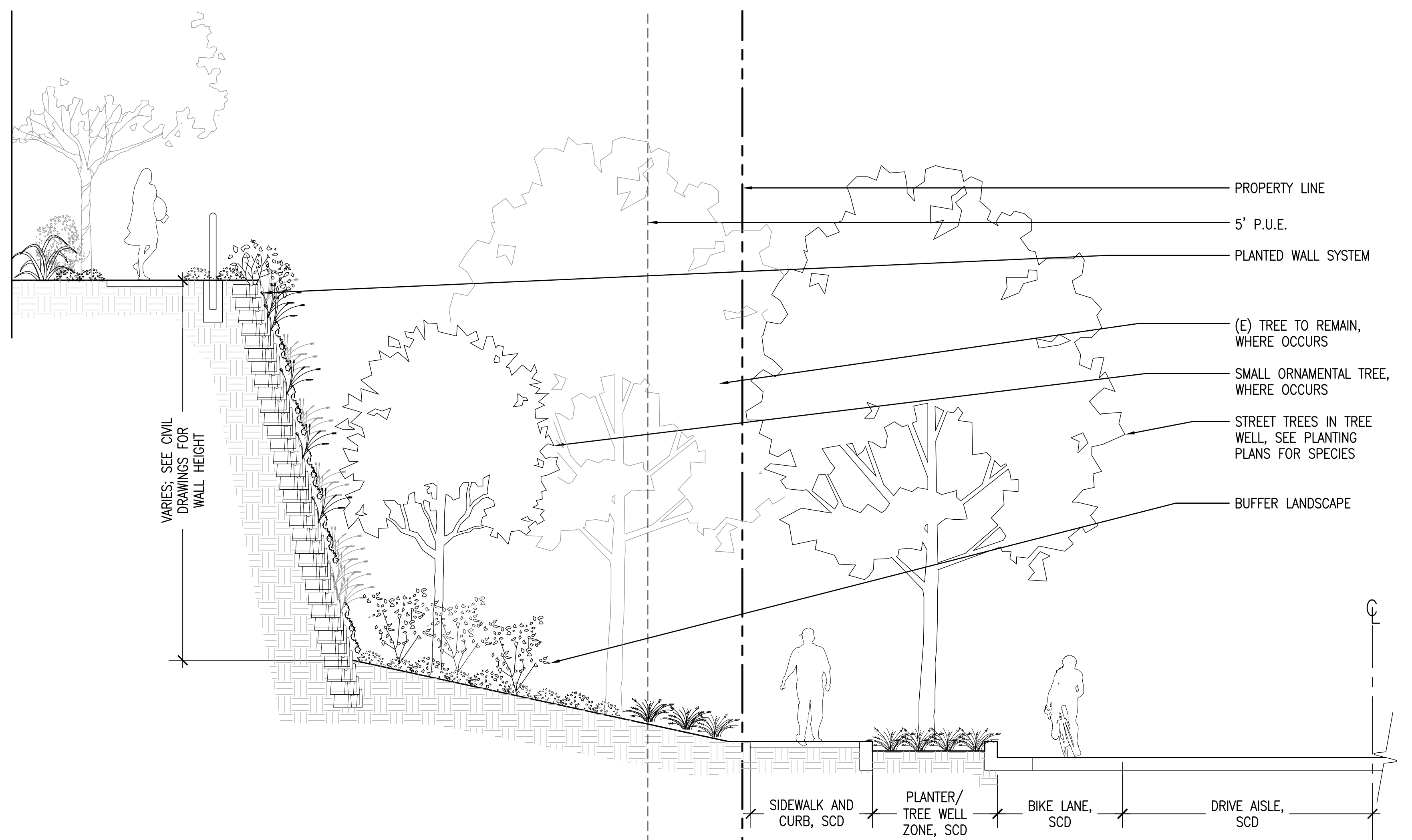
KEY	NAME
1	AC PAVING
2	CONCRETE PAVING
3	DECORATIVE CONCRETE PAVING
4	CONCRETE BAND
5	DG PAVING
6	RESILIENT PLAY SURFACING
7	STAIRS
8	MULCH
9	STORMWATER PLANTER
10	GUARDRAIL
11	DOG PARK FENCING
12	PUBLIC ART PIECE
13	BIKE RACK
14	BENCH
15	DOG WASTE STATION
16	BBQ
17	COAL BIN
18	DRINKING FOUNTAIN
19	PICNIC TABLE
20	SHADE STRUCTURE
21	PLAY EQUIPMENT
22	PLAY EQUIPMENT
23	SWING SET
24	FITNESS EQUIPMENT SIGNAGE
25	FITNESS EQUIPMENT
26	FITNESS LOOP STATION
27	MILEAGE MARKER
28	COMMUNITY GARDEN PLANTER
29	HOSE BIBB
30	GARDEN TABLE
31	TOOL SHED
32	TRASH/RECYCLE RECEPTACLES
33	CORNHOLE
34	BADMINTON COURT
35	CROQUET COURT
36	6' HT FENCE

SEE SHEET L2.09 FOR FULL SCHEDULE OF MATERIALS





1 SECTION – NORTH PARCEL AT CAMPUS DRIVE  
SCALE: 1/4" = 1'



2 SECTION – CAMPUS DRIVE AT SOUTH PARCEL  
SCALE: 1/4" = 1'

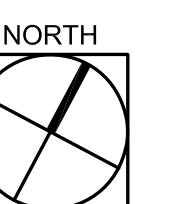
# PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA

CAMPUS POP INVESTOR, LLC

## SECTIONS

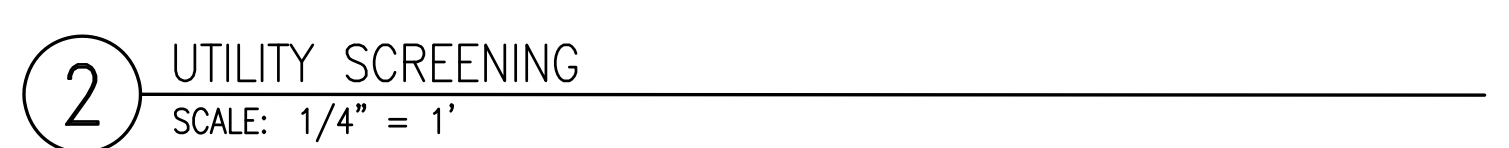


JOB NO. 1483.001  
DATE 08-13-20  
2 Theatre Sq., Ste 218  
Orinda, Ca 94563  
925-254-5422



L2.08





5'-0"

2'-0"

4"

2x6 PTDF CAP

2x6 PTDF STRINGER

2x6 PTDF HORIZ

2x6 PTDF POSTS

4X4 GALVANIZED WELDED WIRE MESH

2x6 PTDF STRINGER

2x6 PTDF HORIZ

12" DIA CONC FOOTING, SLOPE TO DRAIN AT FG

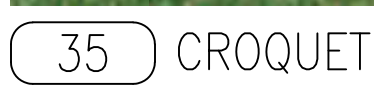
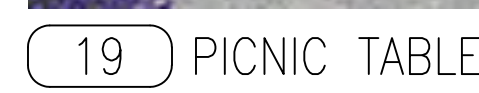
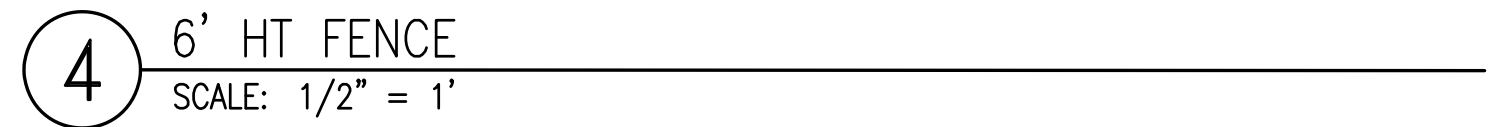
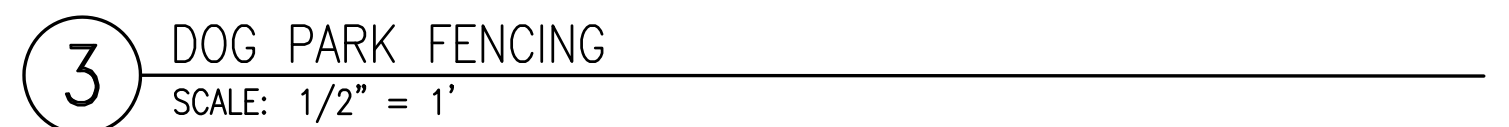
SUBGRADE, UNDISTURBED OR COMPACT TO 90%

8'-0" OC TYP

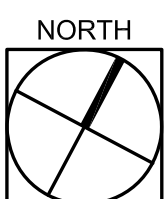
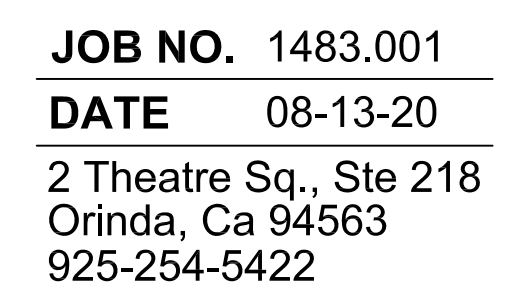
8'-0"

**NOTES:**

1. POSTS TO BE SET AT ALL CORNERS AND WHERE THE ANGLE OF DEFLECTION EXCEEDS 15 DEGREES
2. ALL BOLTS, NUTS, AND OTHER CONNECTING HARDWARE TO BE HOT DIPPED GALVANIZED



## LANDSCAPE MATERIAL IMAGES AND DETAILS



L2.09



PARK AND RECREATION FACILITY CREDIT				
THE FOLLOWING AREAS MAY COUNT AS CREDIT OFF THE PARK IN-LIEU FEE ACCORDING TO SAN MATEO RESOLUTION NO. 53-2008 AND MUNICIPAL CODE SECTION 26.64.030.				
FACILITY TYPE	LOCATION	SIZE PROVIDED (SF)	SIZE ALLOWED FOR CREDIT (SF)	COMMENTS
PLAY AREA	NORTH PARCEL, UPPER TERRACE	3493	3493	ACTIVITY SPACE OCCUPIED BY PLAY AREA, PATHWAY, SITTING AREAS, TRASH RECEPTACLES, ADJACENT LANDSCAPE AREAS UP TO 10' AND UP TO 15% OF TOTAL ACTIVITY SPACE
	NORTH PARCEL, LOWER TERRACE	3030	3030	
	SOUTH PARCEL, UPPER TERRACE	2325	2325	
OUTDOOR EATING AREA (PICNIC/BBQ AREA)	NORTH PARCEL, LOWER TERRACE	760	1160	SPACE OCCUPIED BY BBQ, PICNIC TABLE, TRASH/RECYCLING, COAL BIN, POTABLE WATER, PEDESTRIAN AREAS WITHIN 5' OF THESE ELEMENTS; 4 SF/UNIT ALLOWED FOR CREDIT
	SOUTH PARCEL, UPPER TERRACE	416		
	SOUTH PARCEL, UPPER TERRACE	411		
SEATING AREA (PICNIC AREA)	NORTH PARCEL, UPPER TERRACE	474	2030	SPACE OCCUPIED BY PICNIC TABLE, TRASH/RECYCLING, WATER FOUNTAIN AND PEDESTRIAN SPACES WITHIN 5' OF THESE ELEMENTS; 7 SF/UNIT ALLOWED FOR CREDIT
	NORTH PARCEL, UPPER TERRACE	290		
	NORTH PARCEL, LOWER TERRACE	346		
	SOUTH PARCEL, UPPER TERRACE	400		
	SOUTH PARCEL, LOWER TERRACE	300		
SEATING AREA (BENCH SEATING)	THROUGHOUT	368		23 SF PER BENCH, OUTSIDE PATH OF TRAVEL, EXCLUDES SEATING AREA IN OTHER AMENITIES; 7 SF/UNIT ALLOWED FOR CREDIT
COMMUNITY GARDEN	NORTH PARCEL, UPPER TERRACE	644	644	SPACE OCCUPIED BY 2'X5' RAISED BED WITH HOSE BIB, WORK TABLE, TOOL STORAGE LOCKER, COMPOST/SOIL STORAGE
	NORTH PARCEL, LOWER TERRACE	910	910	
	SOUTH PARCEL, UPPER TERRACE	1290	1290	
	SOUTH PARCEL, LOWER TERRACE	478	478	
DOG PARK	SOUTH PARCEL, LOWER TERRACE	1352	1352	
TURF AREA	NORTH PARCEL, LOWER TERRACE	2458	2458	INCLUDES CROQUET (30'X55'), ALTERNATE BADMINTON COURT (22'X44') AND (2) CORN HOLE COURTS (8'X35') AND SECURE STORAGE
TURF AREA	SOUTH PARCEL, UPPER TERRACE	1274	1274	INCLUDES BADMINTON COURT (22'X44') AND SECURE STORAGE
FITNESS STATION	NORTH PARCEL, UPPER TERRACE	275	275	INCLUDES AREA WITHIN 5' OF FITNESS EQUIPMENT AND MANUFACTURER RECOMMENDED CLEAR SPACE AND OTHER FITNESS FEATURES
	NORTH PARCEL, LOWER TERRACE	520	520	
	SOUTH PARCEL, UPPER TERRACE	788	788	
	SOUTH PARCEL, LOWER TERRACE	550	550	
	SOUTH PARCEL	350	350	
TOTAL AREA PROVIDED:			22927 SF	



Required Tree Planting

Zoning Code, Section 27.71 – Landscape, requires all projects to have a minimum ratio of 1 tree per 400 square feet of landscaped area. Existing trees that are a minimum of 2-inch diameter may count toward this total.

Landscape Area 191,374 sq. ft. > 400 = 478 [a]

Number of existing trees from Tree Evaluation Schedule with a 5-inch or greater diameter to be preserved: 72 [b]

Landscape Unit (LU) value of trees to be removed from the Tree Evaluation Schedule: 3078.9 [c]

Minimum LU value to be replaced and/or met through payment of in-lieu fees: {a – b + c = d} 3484.9 [d]

New Trees

A "Landscape Unit" (LU) value equivalent to [d] above, must either be planted on site, or an "in-lieu" fee paid to the city's street tree planting fund. If the LU value shown at [c] is not equal or greater than [d], then an in-lieu fee must be paid to the City's street tree planting fund at the rate defined annually in the City's Comprehensive Fee Schedule for each deficient LU.

New Trees Being Planted*			
Quantity	Size	LU Value	Total LU Value
311	15 gallon	1	311
236**	24 inch box	2	472
31	36 inch box	3	93
41	48 inch box	4	164
Total LU Value of new trees being proposed:			1040 [e]

New replacement trees shall be in addition to and not substitute requirements for new street trees, parking lot trees or other required trees.

\*\*QUANTITY EXCLUDES CAMPUS DRIVE STREET TREES

Fees Owed to the City Street Tree Planting Fund:

If [d] is greater than [e], there will be an LU value deficit calculated as follows:

{d - e = 2444.9 x (the annually defined \$ per LU value as per Current Comprehensive Fee Schedule) \$321 = \$ 784,813 [f]}

NOTE: APPLICANT IS PROPOSING TO USE SILVA CELLS AT NEW TREE LOCATIONS NEAR SOME HARDSCAPE AREAS IN ORDER TO PROVIDE LARGE ROOT ZONES, THUS MAXIMIZING TREE CANOPY SHADING POTENTIAL. APPLICANT REQUESTS TO DISCUSS OFFSETTING IN-LIEU FEES FOR TREE MITIGATION WITH THE COST OF INSTALLING SILVA CELLS.

PLANT SCHEDULE					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	COMMENTS
TREES					
	CEANOTHUS 'RAY HARTMAN'	MOUNTAIN LILAC	15 GAL	311	
	CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GAL		
	LAURUS NOBILIS 'SARATOGA'	LAUREL	15 GAL		
	PODOCARPUS GRACILIOR	FERN PINE	15 GAL		
	QUERCUS AGRIFOLIA	COAST LIVE OAK	15 GAL		
	ACER PALMATUM 'SANGO KAKU'	JAPANESE MAPLE	24" BOX	236	
	LAGERSTROEMIA 'TUSCARORA'	CRAPE MYRTLE	24" BOX		
	OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE	24" BOX		
	PISTACIA CHINENSIS	CHINESE PISTACHE	24" BOX		
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX		
	QUERCUS SHUMARDII	SHUMARD RED OAK	24" BOX		
	ARBUTUS UNEDO 'MARINA'	STRAWBERRY TREE	36" BOX	31	
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	36" BOX		
	ARBUTUS UNEDO 'MARINA'	STRAWBERRY TREE	36" BOX	41	
	GINKGO BILOBA 'FAIRMOUNT'	MAIDENHAIR TREE	48" BOX		
NATURAL AREA LANDSCAPE MIX					
	ARCTOSTAPHYLOS 'PACIFIC MIST'	MANZANITA	1 GAL		
	ARCTOSTAPHYLOS 'HOWARD McMINN'	HOWARD McMINN MANZANITA	15 GAL		
	BACCHARIS 'PIGEON POINT'	COYOTE BUSH	5 GAL		
	CEANOTHUS G. 'ANCHOR BAY'	CALIFORNIA LILAC	1 GAL		
	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL		
	RHAMNUS 'EVE CASE'	COFFEEBERRY	15 GAL		
	SALVIA SPATHACEA	HUMMINGBIRD SAGE	1 GAL		
FOUNDATION LANDSCAPE MIX					
	AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	5 GAL		
	ANIGOZANTHOS 'BUSH GOLD'	KANGAROO PAW	1 GAL		
	CALAMAGROSTIS 'KARL FOESTER'	FEATHER REED GRASS	5 GAL		
	DIETES BICOLOR	FORTNIGHT LILY	5 GAL		
	LEUCADENDRON 'SAFARI GOLDSTRIKE'	YELLOW CONEFLOWER	5 GAL		
	LOMANDRA 'BREEZE'	DWARF MAT RUSH	1 GAL		
	PITIOSPORUM TENUIFOLIUM	KOHUHU	15 GAL		
	POLYSTICHUM CALIFORNICA	SWORD FERN	1 GAL		
	TEUCRIUM FRUTICANS 'AZUREUM'	BUSH GERMANDER	5 GAL		
PARK MIX					
	BULBINE FRUTESCENS	STALKED BULBINE	1 GAL		
	HELICHTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	5 GAL		
	LEUCOPHYLLUM FRUT.	TEXAS RANGER	5 GAL		
	LOROPETALUM CHINENSE	LOROPETALUM	5 GAL		
	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL		
	PHLOMIS FRUTICOSA	JERUSALEM SAGE	5 GAL		
	PHORMIUM	NEW ZEALAND FLAX	5 GAL		
	SALVIA LEUCANTHA	SANTA BARBARA SAGE	5 GAL		

PLANT SCHEDULE					
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	COMMENTS
	TURF	FESCUE BLEND			
STORMWATER					
	ACHILLEA MILLEFOLIUM	YARROW	1 GAL		
	ARCTOSTAPHYLOS 'HOWARD MCMINN'	HOWARD MCMINN MANZANITA	5 GAL		
	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL		
	CERCIS CANADENSIS 'FOREST PANSY'	EASTERN REDBUD	15 GAL		
	CHONDROPETALUM ELEPH.	CAPE RUSH	5 GAL		
	FESTUCA MAIREI	ATLAS FESCUE	1 GAL		
	IRIS DOUGLASIANA	PACIFIC COAST IRIS	1 GAL		
	JUNCUS PATENS	CALIF. GRAY RUSH	1 GAL		
	MIMULUS AURANTIACUS	MONKEY FLOWER	1 GAL		
	PENSTEMON HETEROPHYLLUS	BEARDTONGUE	1 GAL		
CASCADING PLANTS AND VINES					
	DISTICTIS BUCCINATORA	RED TRUMPET VINE	5 GAL		
	FICUS PUMILA	CREEPING FIG	5 GAL		
	LEPTOSPERMUM S. 'HORIZONTALIS'	PROSTRATE TEA TREE	1 GAL		
	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'	ROSEMARY	1 GAL		
	SATUREJA DOUGLASII	YERBA BUENA	1 GAL		
	TECOMARIA CAPENSIS	CAPE HONEYSUCKLE	5 GAL		
	TRACHELOSPERMUM JAS.	STAR JASMINE	5 GAL		
RETAINING SYSTEM PLANTING A – NATURAL AREA					
	ECHIUUM CANDICANS	PRIDE OF MADEIRA	1 GAL		
	LANTANA CAMARA	LANTANA	1 GAL		
	LEPTOSPERMUM S. 'HORIZONTALIS'	PROSTRATE TEA TREE	1 GAL		
	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'	ROSEMARY	1 GAL		
	MYOPORUM PARVIFOLIUM	CREEPING MYOPORUM	1 GAL		
	PENSTEMON HETEROPHYLLUS	BEARDTONGUE	1 GAL		
	TEUCRIUM CHAEMAEDRYS	WALL GERMANDER	1 GAL		
	VERBENA BONARIENSIS	PURPLE TOP	1 GAL		
RETAINING SYSTEM PLANTING B – RESIDENTIAL AREAS					
	AEONIUM CANARIENSE	HOUSELEEK	1 GAL		
	AGAVE ATTENUATA	FOXTAIL AGAVE	1 GAL		
	ARMERIA	THRIFT	1 GAL		
	BACCHARIS 'PIGEON POINT'	COYOTE BUSH	1 GAL		
	BOUGAINVILLEA 'BARBARA KARST'	BOUGAINVILLEA	1 GAL		
	BULBINE FRUTESCENS	STALKED BULBINE	1 GAL		
	DROSANTHEMUM HISPIDUM	ROSEA ICE PLANT	1 GAL		
	SENECIO VITALIS	NARROW-LEAF CHALKSTICKS	1 GAL		
RETAINING SYSTEM PLANTING C – RESIDENTIAL AREAS					
	ACHILLEA MILLEFOLIUM	YARROW	1 GAL		
	AJUGA GENEVENSIS	CARPET BUGLE	1 GAL		
	LONICERA JAPONICA 'HALLIANA'	HONEYSUCKLE	1 GAL		
	SATUREJA DOUGLASII	YERBA BUENA	1 GAL		
	TRACHELOSPERMUM ASIATICUM	ASIAN STAR JASMINE	1 GAL		
	VERBENA 'HOMESTEAD PURPLE'	PURPLE VERBENA	1 GAL		





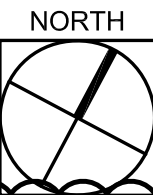
PLANT SCHEDULE			
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
	CEANOTHUS 'RAY HARTMAN'	MOUNTAIN LILAC	15 GAL
	CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GAL
	LAURUS NOBILIS 'SARATOGA'	LAUREL	15 GAL
	PODOCARPUS GRACILIOR	FERN PINE	15 GAL
	QUERCUS AGRIFOLIA	COAST LIVE OAK	15 GAL
	ACER PALMATUM 'SANGO KAKU'	JAPANESE MAPLE	24" BOX
	LAGERSTROEMIA 'TUSCARORA'	CRAPE MYRTLE	24" BOX
	OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE	24" BOX
	PISTACIA CHINENSIS	CHINESE PISTACHE	24" BOX
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX
	QUERCUS SHUMARDII	SHUMARD RED OAK	24" BOX
	ARBUTUS UNEDO 'MARINA'	STRAWBERRY TREE	36" BOX
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	36" BOX
	ARBUTUS UNEDO 'MARINA'	STRAWBERRY TREE	36" BOX
	GINKGO BILOBA 'FAIRMOUNT'	MAIDENHAIR TREE	48" BOX
	NATURAL AREA LANDSCAPE MIX		
	FOUNDATION LANDSCAPE MIX		
	PARK MIX		
	TURF		
	STORMWATER		
	CASCADING PLANTS AND VINES		
	RETAINING SYSTEM PLANTING A – NATURAL AREA		
	RETAINING SYSTEM PLANTING B – RESIDENTIAL AREAS		
	RETAINING SYSTEM PLANTING C – RESIDENTIAL AREAS		
NOTE: SEE SHEET L3.00 FOR FULL SCHEDULE OF PLANTS.			

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

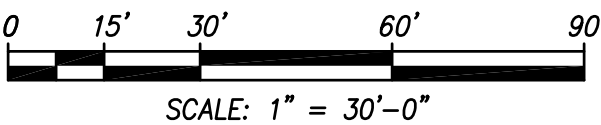
PLANTING PLAN - NORTH PARCEL



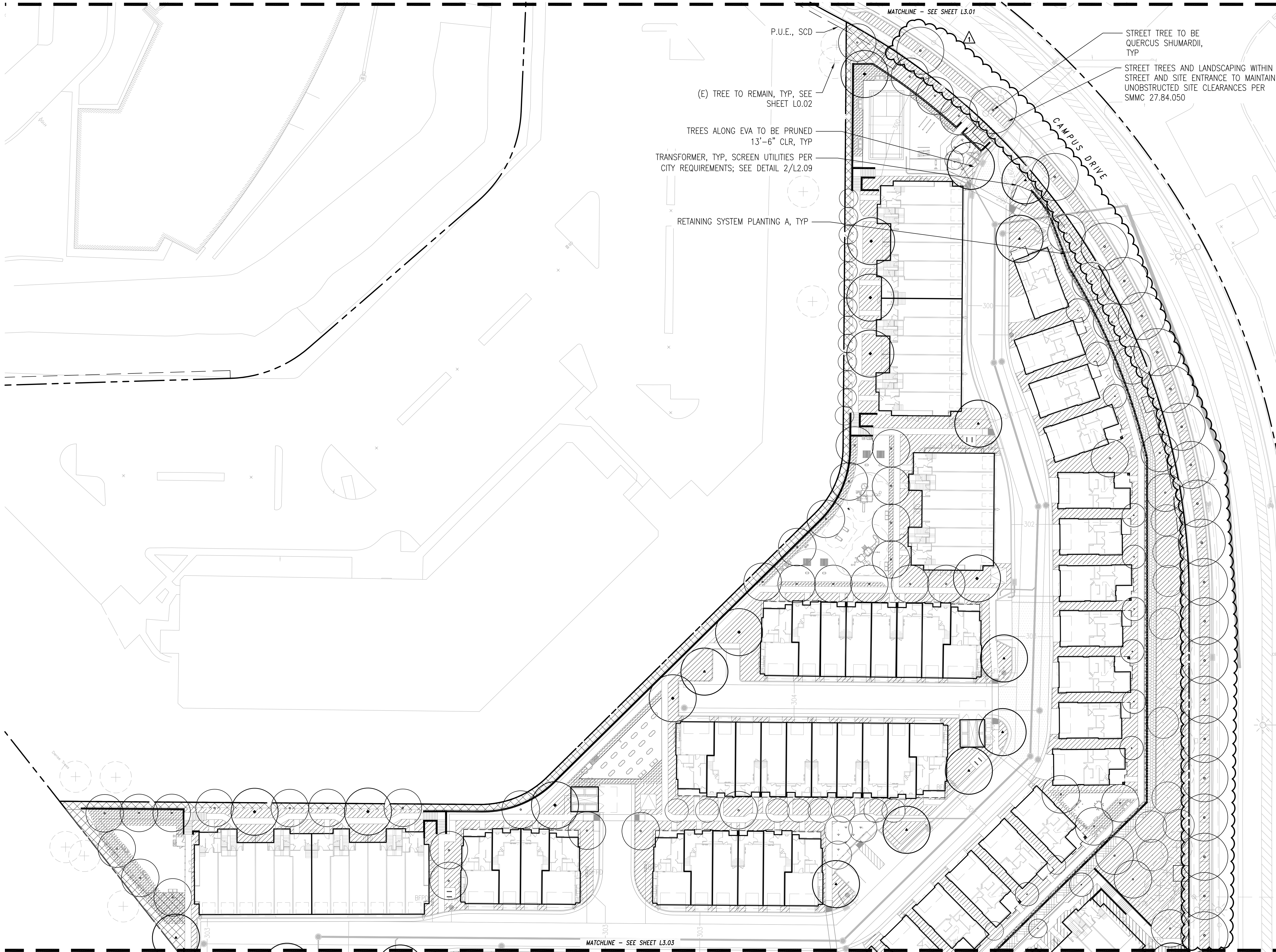
JOB NO. 1483.001  
DATE 08-13-20  
2 Theatre Sq., Ste 218  
Orinda, Ca 94563  
925-254-5422



L3.01







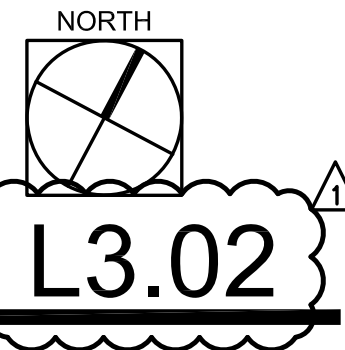
PLANT SCHEDULE			
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
	CEANOTHUS 'RAY HARTMAN'	MOUNTAIN LILAC	15 GAL
	CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GAL
	LAURUS NOBILIS 'SARATOGA'	LAUREL	15 GAL
	PODOCARPUS GRACILIOR	FERN PINE	15 GAL
	QUERCUS AGRIFOLIA	COAST LIVE OAK	15 GAL
	ACER PALMATUM 'SANGO KAKU'	JAPANESE MAPLE	24" BOX
	LAGERSTROEMIA 'TUSCARORA'	CRAPE MYRTLE	24" BOX
	OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE	24" BOX
	PISTACIA CHINENSIS	CHINESE PISTACHE	24" BOX
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX
	QUERCUS SHUMARDII	SHUMARD RED OAK	24" BOX
	ARBUTUS UNEDO 'MARINA'	STRAWBERRY TREE	36" BOX
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	36" BOX
	ARBUTUS UNEDO 'MARINA'	STRAWBERRY TREE	36" BOX
	GINKGO BILOBA 'FAIRMOUNT'	MAIDENHAIR TREE	48" BOX
	NATURAL AREA LANDSCAPE MIX		
	FOUNDATION LANDSCAPE MIX		
	PARK MIX		
	TURF		
	STORMWATER		
	CASCADING PLANTS AND VINES		
	RETAINING SYSTEM PLANTING A – NATURAL AREA		
	RETAINING SYSTEM PLANTING B – RESIDENTIAL AREAS		
	RETAINING SYSTEM PLANTING C – RESIDENTIAL AREAS		
NOTE: SEE SHEET L3.00 FOR FULL SCHEDULE OF PLANTS.			

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

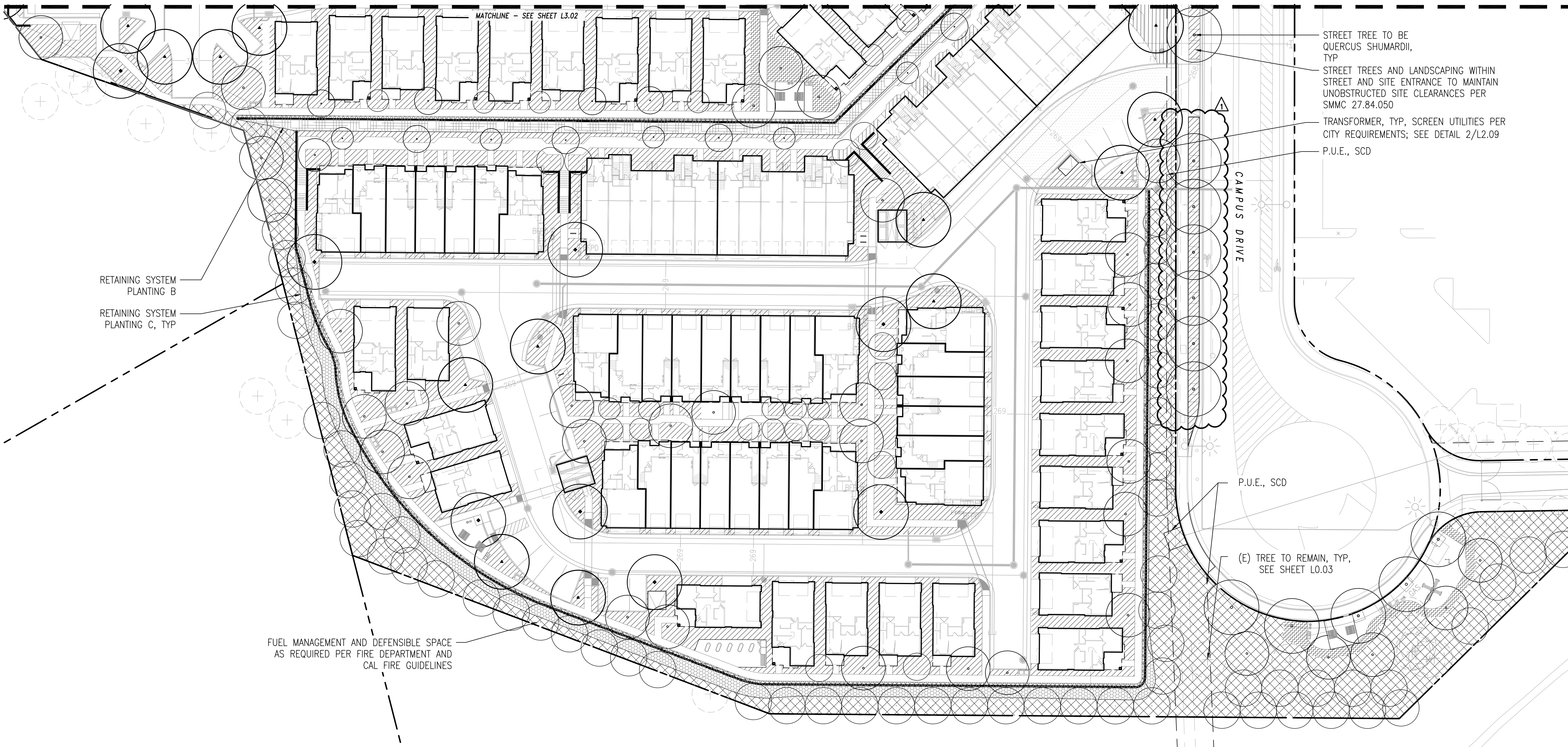
PLANTING PLAN - SOUTH PARCEL

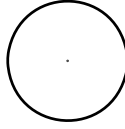
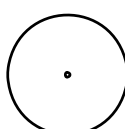
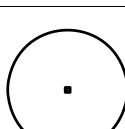
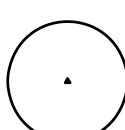
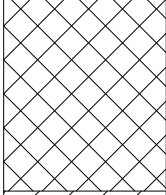
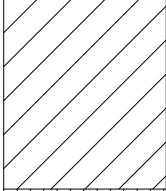
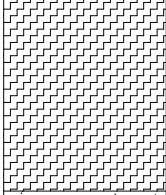
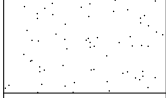
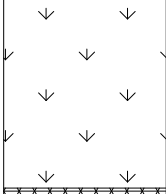
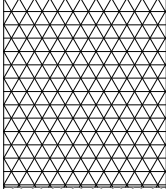
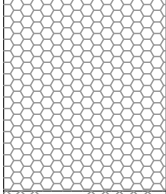
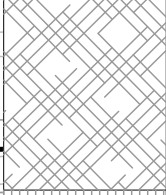
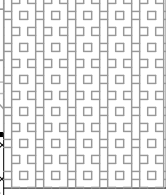


JOB NO. 1483.001  
DATE 08-13-20  
2 Theatre Sq., Ste 218  
Orinda, Ca 94563  
925-254-5422



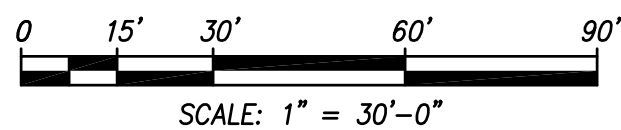




PLANT SCHEDULE			
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
	CEANOTHUS 'RAY HARTMAN'	MOUNTAIN LILAC	15 GAL
	CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GAL
	LAURUS NOBILIS 'SARATOGA'	LAUREL	15 GAL
	PODOCARPUS GRACILIOR	FERN PINE	15 GAL
	QUERCUS AGRIFOLIA	COAST LIVE OAK	15 GAL
	ACER PALMATUM 'SANGO KAKU'	JAPANESE MAPLE	24" BOX
	LAGERSTROEMIA 'TUSCARORA'	CRAPE MYRTLE	24" BOX
	OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE	24" BOX
	PISTACIA CHINENSIS	CHINESE PISTACHE	24" BOX
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX
	QUERCUS SHUMARDII	SHUMARD RED OAK	24" BOX
	ARBUTUS UNEDO 'MARINA'	STRAWBERRY TREE	36" BOX
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	36" BOX
	ARBUTUS UNEDO 'MARINA'	STRAWBERRY TREE	36" BOX
	GINKGO BILOBA 'FAIRMOUNT'	MAIDENHAIR TREE	48" BOX
	NATURAL AREA LANDSCAPE MIX		
	FOUNDATION LANDSCAPE MIX		
	PARK MIX		
	TURF		
	STORMWATER		
	CASCADING PLANTS AND VINES		
	RETAINING SYSTEM PLANTING A – NATURAL AREA		
	RETAINING SYSTEM PLANTING B – RESIDENTIAL AREAS		
	RETAINING SYSTEM PLANTING C – RESIDENTIAL AREAS		
NOTE: SEE SHEET L3.00 FOR FULL SCHEDULE OF PLANTS.			

PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA  
CAMPUS POP INVESTOR, LLC

PLANTING PLAN - SOUTH PARCEL



JOB NO. 1483.001  
DATE 08-13-20  
2 Theatre Sq., Ste 218  
Orinda, Ca 94563  
925-254-5422

L3.03



TREES



ACER PALMATUM JAPANESE MAPLE

ARBUTUS UNEDO 'MARINA' STRAWBERRY TREE

CEANOTHUS 'RAY HARTMAN' MOUNTAIN LILAC

CERCIS OCCIDENTALIS WESTERN REDBUD

GINGKO B. 'FAIRMOUNT' MAIDENHAIR TREE

LAGERSTROEMIA INDICA CRAPE MYRTLE

LAURUS 'SARATOGA' LAUREL

LOPHOSTEMON CONF. BRISBANE BOX

OLEA EUROPAEA 'SWAN HILL' FRUITLESS OLIVE

PISTACIA CHINENSIS CHINESE PISTACHE

PODOCARPUS GRACILIOR FERN PINE

QUERCUS AGRIFOLIA COAST LIVE OAK

QUERCUS SHUMARDII SHUMARD RED OAK

NATURAL AREA LANDSCAPE MIX



ARCTOSTAPHYLOS 'PACIFIC MIST' MANZANITA

BACCHARIS 'PIGEON POINT' COYOTE BUSH

CEANOTHUS G. 'ANCHOR BAY' CALIFORNIA LILAC

MUHLENBERGIA RIGENS DEER GRASS

RHAMNUS CAL. 'EVE CASE' COFFEEBERRY

SALVIA SPATHACEA HUMMINGBIRD SAGE

FOUNDATION LANDSCAPE MIX



AGAVE 'BLUE GLOW' BLUE GLOW AGAVE

ANIGOZANTHOS 'BUSH GOLD' KANGAROO PAW

CALAMAGROSTIS FEATHER REED GRASS

DIETES BICOLOR FORTNIGHT LILY

LEUCADENDRON YELLOW CONEFLOWER

LOMANDRA 'BREEZE' DWARF MAT RUSH

PITTOSPORUM TENUIFOLIUM KOHUHU

TEUCRIUM FRUTICANS 'AZAREUM' BUSH GERMANDER

PARK MIX



BULBINE FRUTESCENS STALKED BULBINE

HELICHTOTRICHON SEMPERVIRENS BLUE OAT GRASS

LEUCOPHYLLUM FRUTESCENS TEXAS RANGER

MUHLENBERGIA RIGENS DEER GRASS

LOROPETALUM CHINENSE FRINGE FLOWER

PHLOMIS FRUTICOSA JERUSALEM SAGE

PHORMIUM NEW ZEALAND FLAX

SALVIA LEUCANTHA SANTA BARBARA SAGE

STORMWATER MIX



ACHILLEA MILLEFOLIUM YARROW

ARCTOSTAPHYLOS HOWARD MCMINN MANZANITA

CAREX TUMICULA BERKELEY SEDGE

CERCIS CANADENSIS 'FOREST PANSY' EASTERN REDBUD

CHONDROPETALUM ELEPH. CAPE RUSH

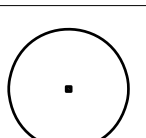
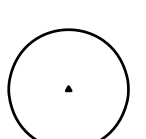
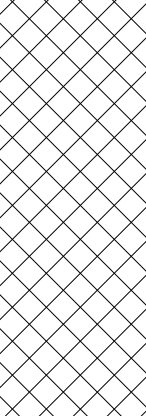
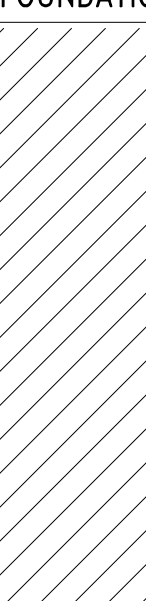
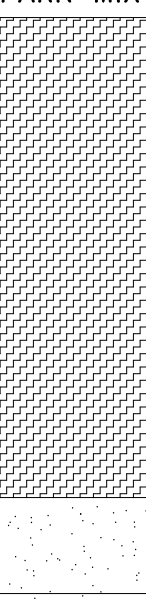
FESTUCA MAIREI ATLAS FESCUE

IRIS DOUGLASIANA PACIFIC COAST IRIS

JUNCUS PATENS CALIF. GRAY RUSH

MIMULUS AURANTIACUS MONKEY FLOWER

PENSTEMON HETEROPHYLLUS BEARDTONGUE

PLANT SCHEDULE			
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
	CEANOTHUS 'RAY HARTMAN'	MOUNTAIN LILAC	15 GAL
	CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GAL
	LAURUS NOBILIS 'SARATOGA'	LAUREL	15 GAL
	PODOCARPUS GRACILIOR	FERN PINE	15 GAL
	QUERCUS AGRIFOLIA	COAST LIVE OAK	15 GAL
	ACER PALMATUM 'SANGO KAKU'	JAPANESE MAPLE	24" BOX
	LAGERSTROEMIA 'TUSCARORA'	CRAPE MYRTLE	24" BOX
	OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE	24" BOX
	PISTACIA CHINENSIS	CHINESE PISTACHE	24" BOX
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX
	QUERCUS SHUMARDII	SHUMARD RED OAK	24" BOX
	ARBUTUS UNEDO 'MARINA'	STRAWBERRY TREE	36" BOX
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	36" BOX
	ARBUTUS UNEDO 'MARINA'	STRAWBERRY TREE	36" BOX
	GINGKO BILOBA 'FAIRMOUNT'	MAIDENHAIR TREE	48" BOX
NATURAL AREA LANDSCAPE MIX			
	ARCTOSTAPHYLOS 'PACIFIC MIST'	MANZANITA	1 GAL
	ARCTOSTAPHYLOS 'HOWARD McMINN'	HOWARD McMINN MANZANITA	15 GAL
	BACCHARIS 'PIGEON POINT'	COYOTE BUSH	5 GAL
	CEANOTHUS G. 'ANCHOR BAY'	CALIFORNIA LILAC	1 GAL
	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL
	RHAMNUS 'EVE CASE'	COFFEEBERRY	15 GAL
	SALVIA SPATHACEA	HUMMINGBIRD SAGE	1 GAL
FOUNDATION LANDSCAPE MIX			
	AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	5 GAL
	ANIGOZANTHOS 'BUSH GOLD'	KANGAROO PAW	1 GAL
	CALAMAGROSTIS 'KARL FOESTER'	FEATHER REED GRASS	5 GAL
	DIETES BICOLOR	FORTNIGHT LILY	5 GAL
	LEUCADENDRON 'SAFARI GOLDSTRIKE'	YELLOW CONEFLOWER	5 GAL
	LOMANDRA 'BREEZE'	DWARF MAT RUSH	1 GAL
	PITTOSPORUM TENUIFOLIUM	KOHUHU	15 GAL
	POLYSTICHUM CALIFORNICA	SWORD FERN	1 GAL
	TEUCRIUM FRUTICANS 'AZUREUM'	BUSH GERMANDER	5 GAL
PARK MIX			
	BULBINE FRUTESCENS	STALKED BULBINE	1 GAL
	HELICHTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	5 GAL
	LEUCOPHYLLUM FRUT.	TEXAS RANGER	5 GAL
	LOROPETALUM CHINENSE	LOROPETALUM	5 GAL
	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL
	PHLOMIS FRUTICOSA	JERUSALEM SAGE	5 GAL
	PHORMIUM	NEW ZEALAND FLAX	5 GAL
	SALVIA LEUCANTHA	SANTA BARBARA SAGE	5 GAL
	TURF	FESCUE BLEND	
STORMWATER			
	ACHILLEA MILLEFOLIUM	YARROW	1 GAL
	ARCTOSTAPHYLOS 'HOWARD McMINN'	HOWARD McMINN MANZANITA	5 GAL
	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL
	CERCIS CANADENSIS 'FOREST PANSY'	EASTERN REDBUD	15 GAL
	CHONDROPETALUM ELEPH.	CAPE RUSH	5 GAL
	FESTUCA MAIREI	ATLAS FESCUE	1 GAL
	IRIS DOUGLASIANA	PACIFIC COAST IRIS	1 GAL
	JUNCUS PATENS	CALIF. GRAY RUSH	1 GAL
	MIMULUS AURANTIACUS	MONKEY FLOWER	1 GAL
	PENSTEMON HETEROPHYLLUS	BEARDTONGUE	1 GAL



CASCADING PLANTS  
AND VINES



DISTICTIS BUCCINATORA  
RED TRUMPET VINE



FICUS PUMILA  
CREEPING FIG



LEPTOSPERMUM S. 'HORIZONTALIS'  
PROSTRATE TEA TREE



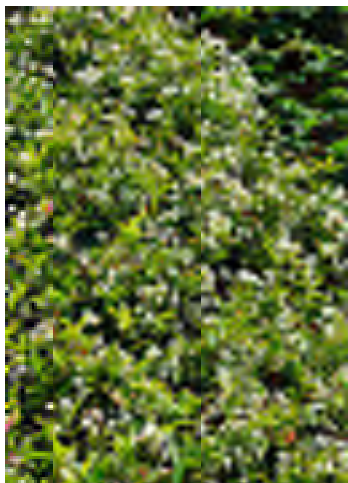
ROSMARINUS 'HUNTINGTON CARPET'  
ROSEMARY



SATUREJA DOUGLASII  
YERBBA BUENA



TECOMARIA CAPENSIS  
CAPE HONEYSUCKLE



TRACHELOSPERMUM ASI.  
ASIAN STAR JASMINE

WALL PLANTING A  
NATURAL AREAS



ECHIUM CANDICANS  
PRIDE OF MADEIRA



LANTANA CAMARA  
LANTANA



LEPTOSPERMUM S. HORIZONTALIS  
PROSTRATE TEA TREE



ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'  
CREEPING ROSEMARY



PENSTEMON HETEROPHYLLUS  
BEARDTONGUE



TEUCRIUM CHAEMADRYS  
WALL GERMANDER



VERBENA CANARIENSIS  
PURPLE TOP

WALL PLANTING B  
RESIDENTIAL AREAS



AEONIUM CANARIENSE  
HOUSELEEK



AGAVE ATTENUATA  
FOXTAIL AGAVE



ARMERIA MARITIMA  
THRIFT



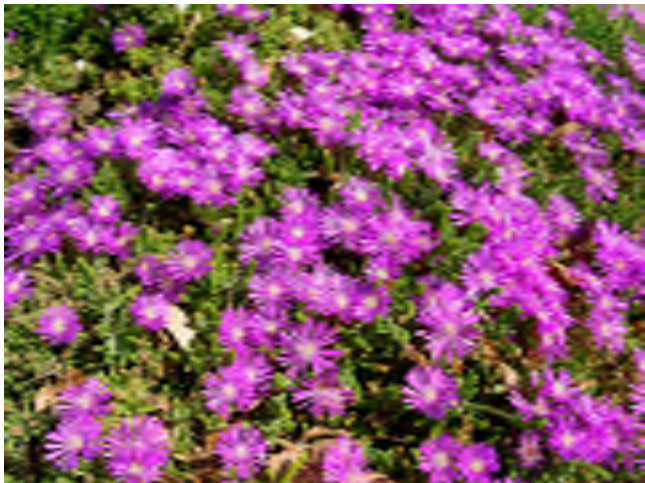
BACCHARIS 'PIGEON POINT'  
DWARF COYOTE BUSH



BOUGAINVILLEA 'BARBARA KARST'  
BOUGAINVILLEA



BULBINE FRUTESCENS  
STALKED BULBINE



DROSANTHEMUM HISPIDUM  
ROSEA ICE PLANT



SENECIO VITALIS

WALL PLANTING C  
RESIDENTIAL AREAS



ACHILLEA MILLEFOLIUM  
YARROW



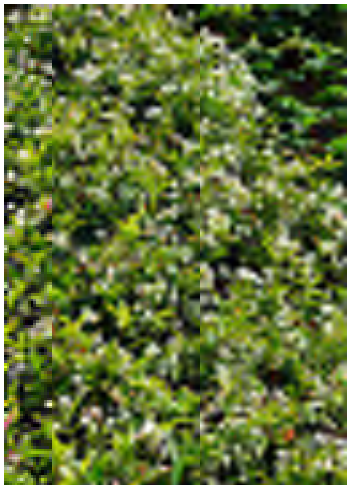
AJUGA GENEVENSIS  
CARPET BUGLE



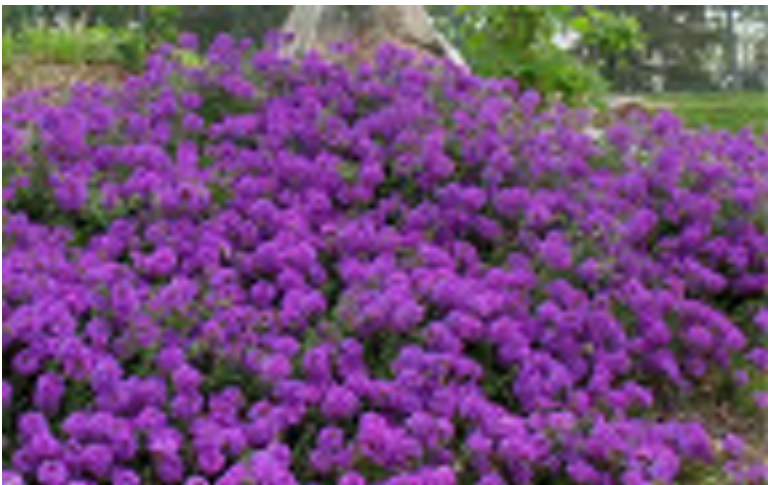
LONICERA JAPONICA 'HALLIANA'  
HONEYSUCKLE



SATUREJA DOUGLASII  
YERBA BUENA



TRACHELOSPERMUM ASI.  
ASIAN STAR JASMINE



VERBENA 'HOMESTEAD PURPLE'  
PURPLE VERBENA

PLANT SCHEDULE			
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
	MIMULUS 'AURANTIACUS'	MONKEY FLOWER	1 GAL
	PENSTEMON HETEROPHYLLUS	BEARDTONGUE	1 GAL
CASCADING PLANTS AND VINES			
	DISTICTIS BUCCINATORA	RED TRUMPET VINE	5 GAL
	FICUS PUMILA	CREEPING FIG	5 GAL
	LEPTOSPERMUM S. 'HORIZONTALIS'	PROSTRATE TEA TREE	1 GAL
	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'	ROSEMARY	1 GAL
	SATUREJA DOUGLASII	YERBA BUENA	1 GAL
	TECOMARIA CAPENSIS	CAPE HONEYSUCKLE	5 GAL
	TRACHELOSPERMUM JAS.	STAR JASMINE	5 GAL
RETAINING SYSTEM PLANTING A – NATURAL AREA			
	ECHIUM CANDICANS	PRIDE OF MADEIRA	1 GAL
	LANTANA CAMARA	LANTANA	1 GAL
	LEPTOSPERMUM S. 'HORIZONTALIS'	PROSTRATE TEA TREE	1 GAL
	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'	ROSEMARY	1 GAL
	MYOPORUM PARVIFOLIUM	CREEPING MYOPORUM	1 GAL
	PENSTEMON HETEROPHYLLUS	BEARDTONGUE	1 GAL
	TEUCRIUM CHAEMAEDRYS	WALL GERMANDER	1 GAL
	VERBENA BONARIENSIS	PURPLE TOP	1 GAL
RETAINING SYSTEM PLANTING B – RESIDENTIAL AREAS			
	AEONIUM CANARIENSE	HOUSELEEK	1 GAL
	AGAVE ATTENUATA	FOXTAIL AGAVE	1 GAL
	ARMERIA	THRIFT	1 GAL
	BACCHARIS 'PIGEON POINT'	COYOTE BUSH	1 GAL
	BOUGAINVILLEA 'BARBARA KARST'	BOUGAINVILLEA	1 GAL
	BULBINE FRUTESCENS	STALKED BULBINE	1 GAL
	DROSANTHEMUM HISPIDUM	ROSEA ICE PLANT	1 GAL
	SENECIO VITALIS	NARROW-LEAF CHALKSTICKS	1 GAL
RETAINING SYSTEM PLANTING C – RESIDENTIAL AREAS			
	ACHILLEA MILLEFOLIUM	YARROW	1 GAL
	AJUGA GENEVENSIS	CARPET BUGLE	1 GAL
	LONICERA JAPONICA 'HALLIANA'	HONEYSUCKLE	1 GAL
	SATUREJA DOUGLASII	YERBA BUENA	1 GAL
	TRACHELOSPERMUM ASIATICUM	ASIAN STAR JASMINE	1 GAL
	VERBENA 'HOMESTEAD PURPLE'	PURPLE VERBENA	1 GAL

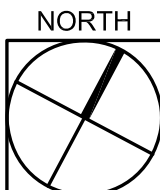
PENINSULA HEIGHTS - SAN MATEO, CALIFORNIA

CAMPUS POP INVESTOR, LLC

PLANT IMAGES



JOB NO. 1483.001  
DATE 08-13-20  
2 Theatre Sq., Ste 218  
Orinda, Ca 94563  
925-254-5422



L3.05